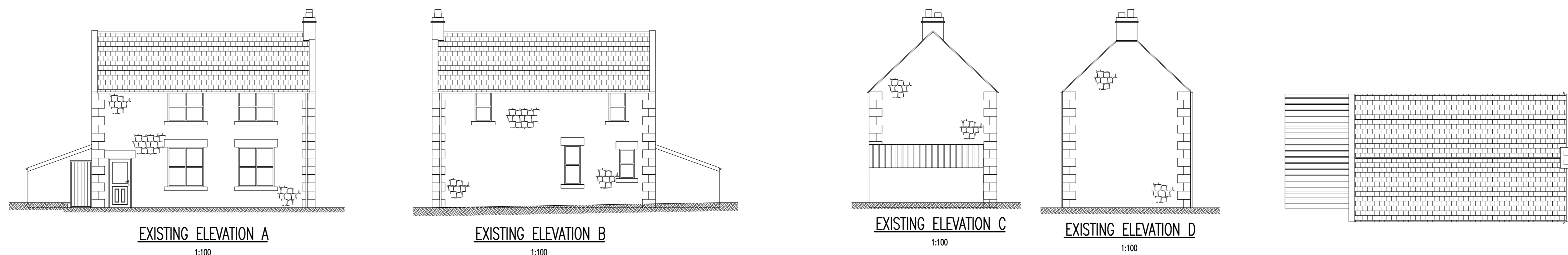


EXISTING SITE LAYOUT  
1:100

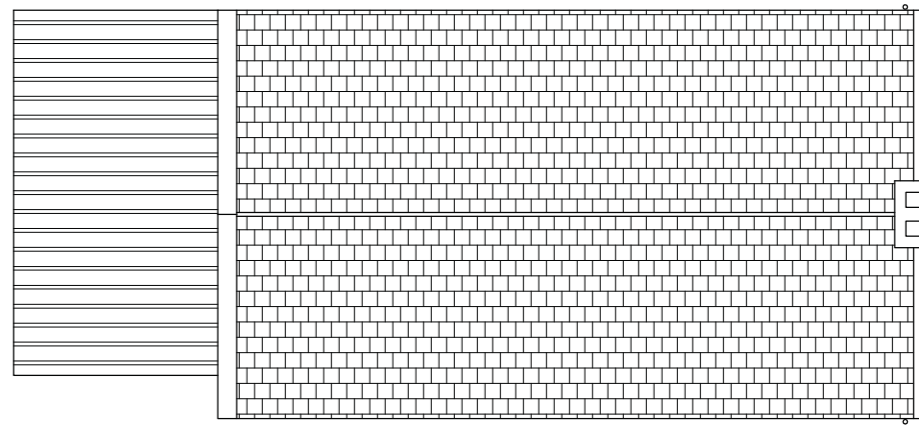


EXISTING ELEVATION A  
1:100

EXISTING ELEVATION B  
1:100

EXISTING ELEVATION C  
1:100

EXISTING ELEVATION D  
1:100



EXISTING ROOF PLAN  
1:100

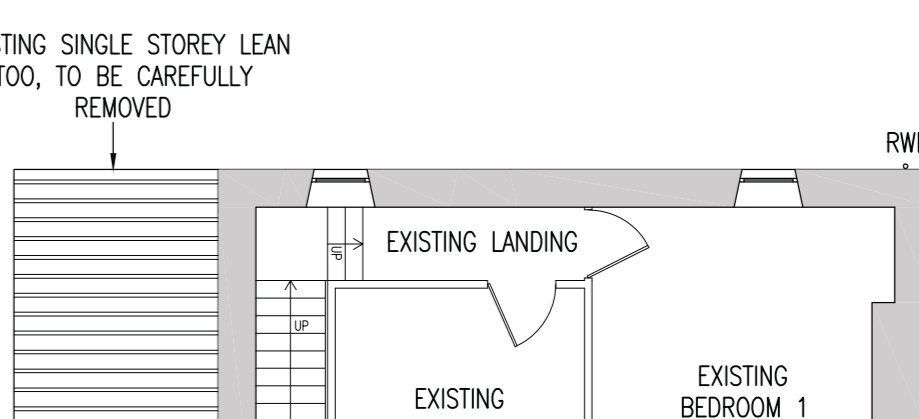


PROPOSED ELEVATION A  
1:100

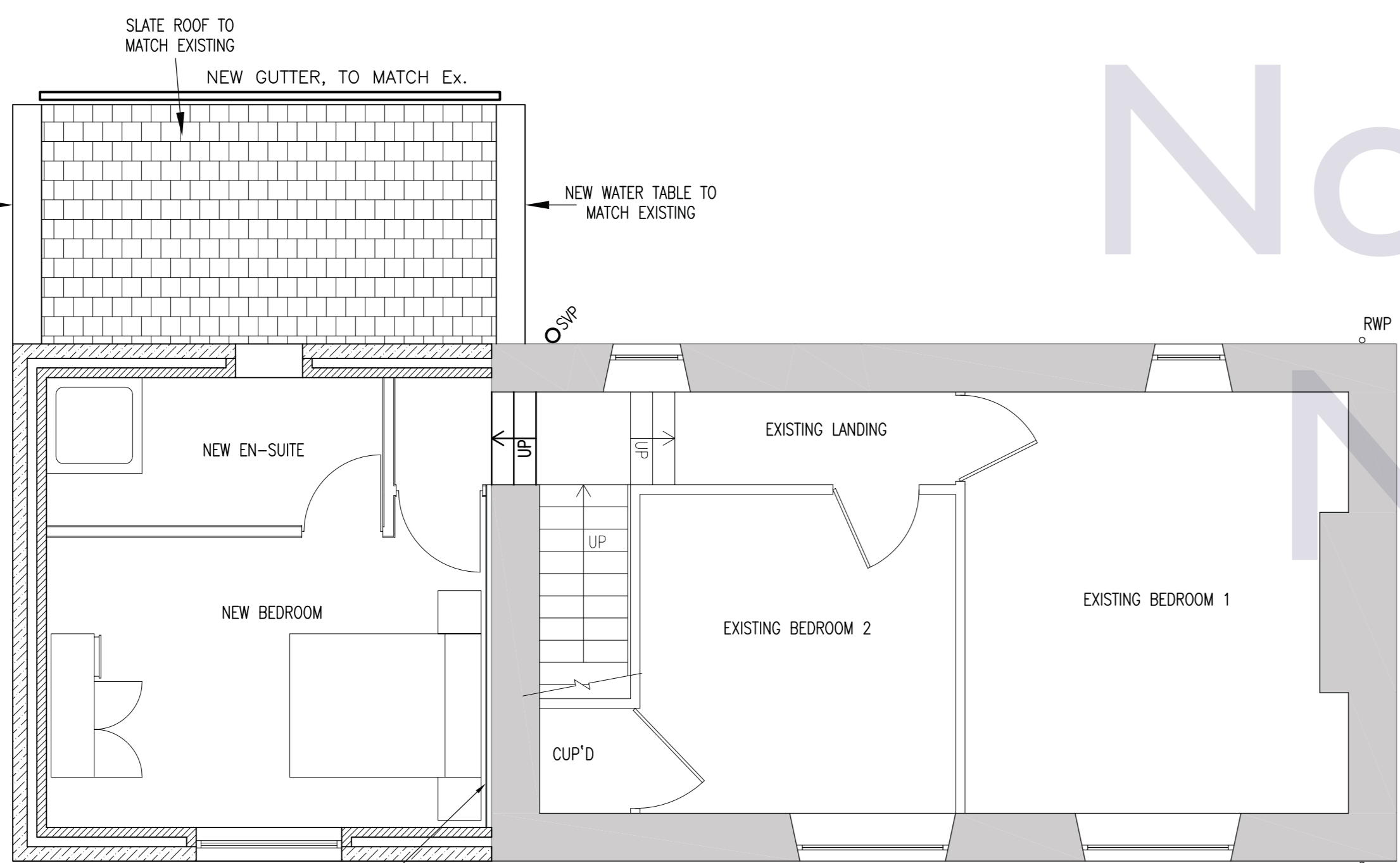
PROPOSED ELEVATION B  
1:100

PROPOSED ELEVATION C  
1:100

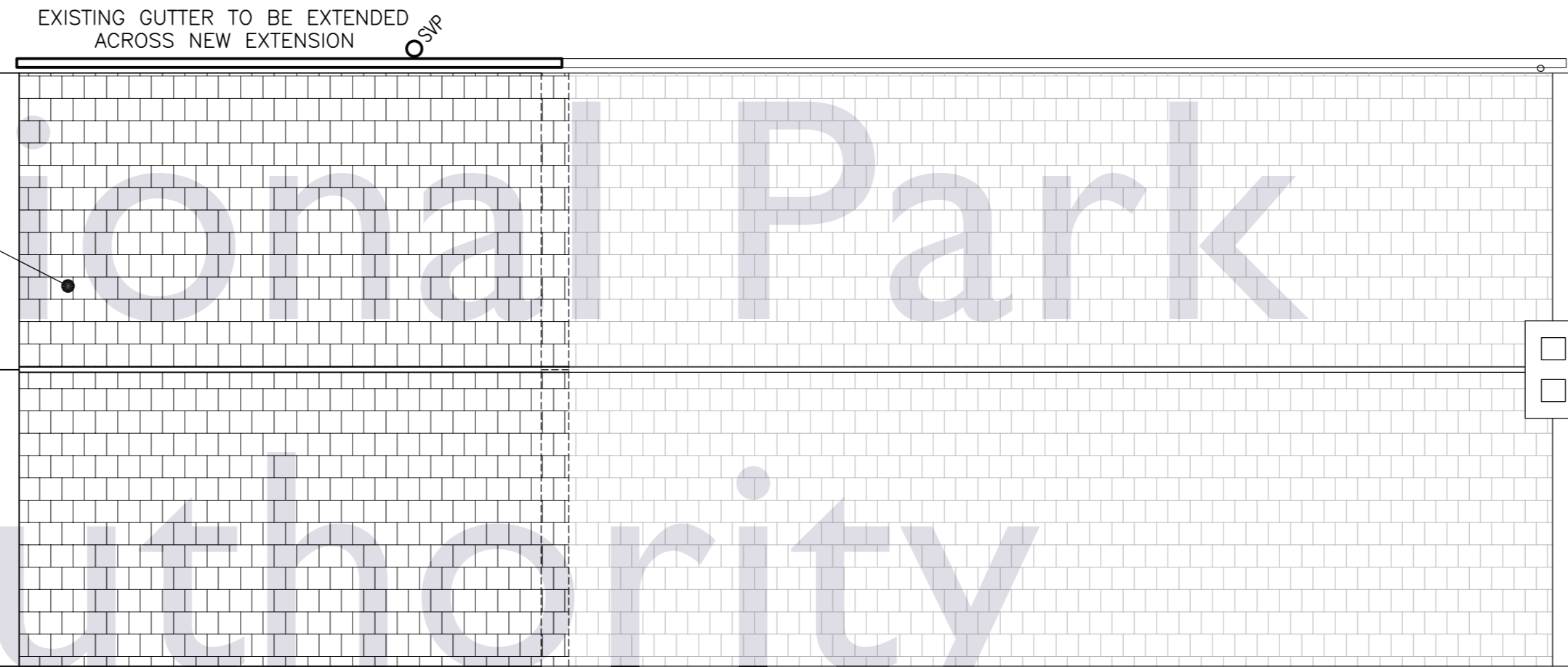
PROPOSED ELEVATION D  
1:100



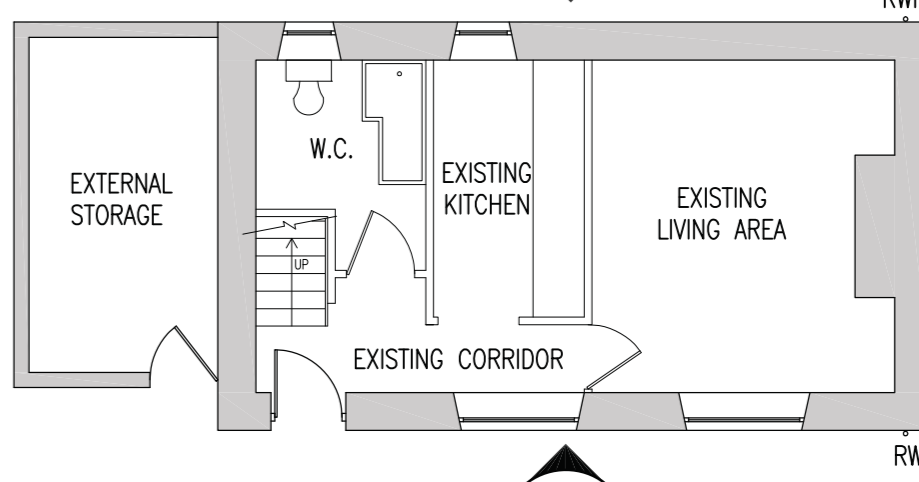
EXISTING FIRST FLOOR PLAN  
1:100



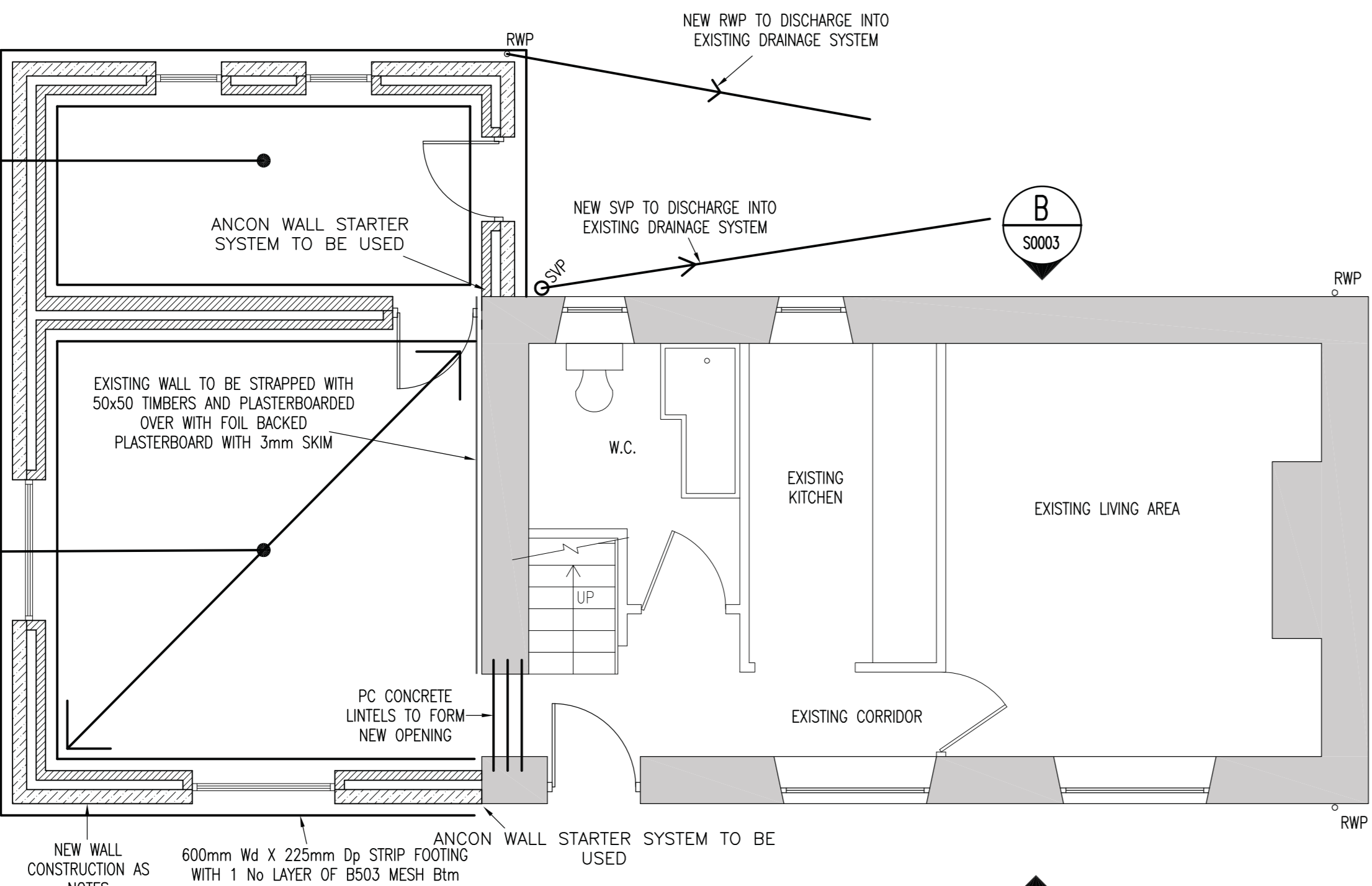
PROPOSED FIRST FLOOR PLAN  
1:50



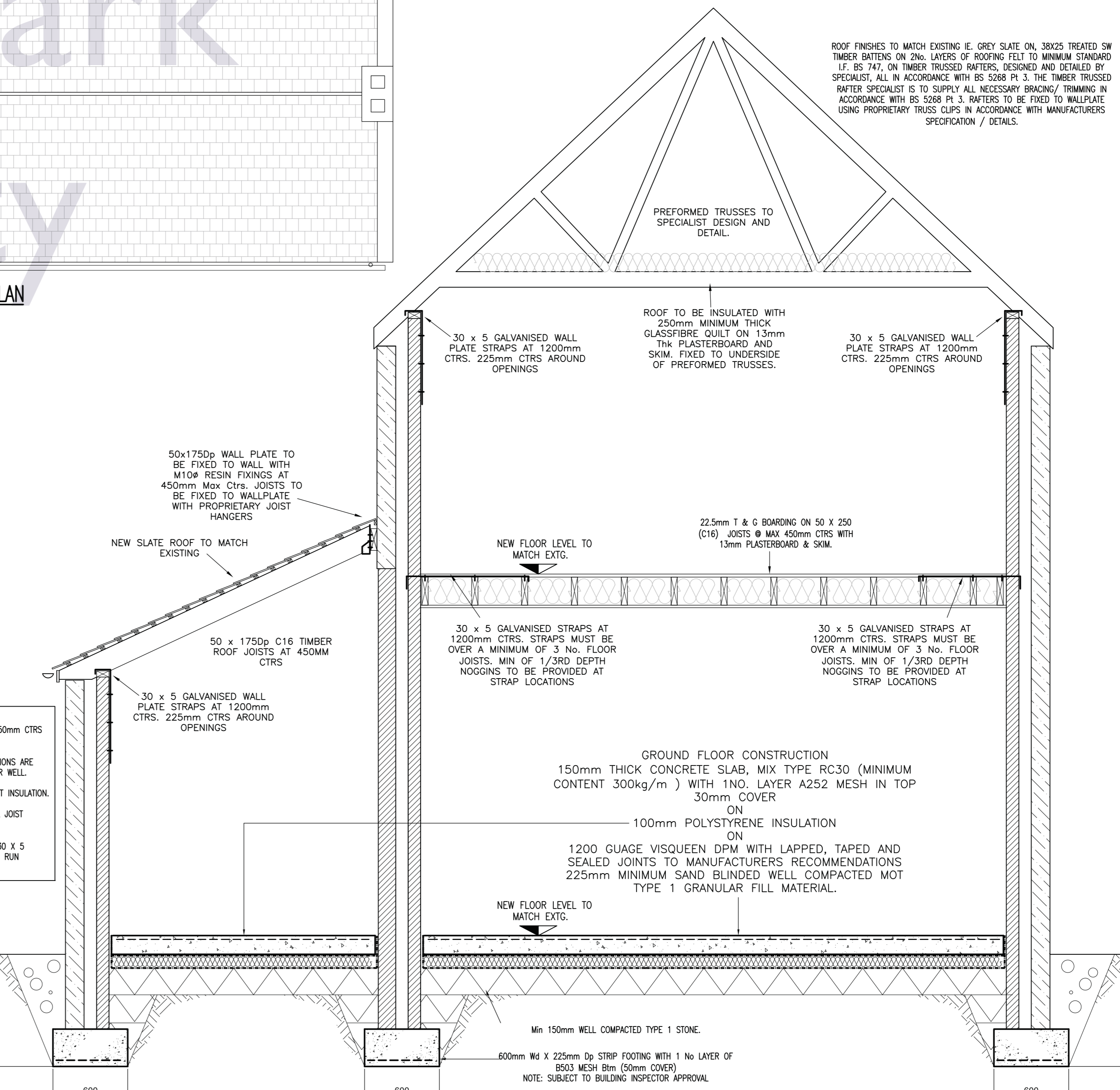
PROPOSED ROOF PLAN  
1:50



EXISTING GROUND FLOOR PLAN  
1:100



PROPOSED GROUND FLOOR PLAN  
1:50



PROPOSED SECTION THROUGH  
1:25

**GENERAL NOTES**  
Do not scale off this drawing. This drawing has been prepared for Planning and Building Regulation purposes only and is to be read in conjunction with other relevant drawings, details and specifications. All works are to be carried out in accordance with the latest edition of the Building Regulations and any amendments, together with any relevant British Standards and Codes of Practice. All dimensions are in millimetres unless noted otherwise. All dimensions and levels are to be checked prior to order, fabrication or commencement on site of any work by the Contractor. All materials are to be of a suitable nature and adequately prepared, applied, used or fixed to or for the purpose in which they are used. All proprietary items are to be fixed strictly in accordance with the manufacturer's instructions. All drains to be in accordance with the Local Authority requirements. The Contractor must ensure and be responsible for the overall stability of the building/structure/elevations etc., at all stages of the work. All work by the Contractor must be carried out in such a way that all requirements under the Health & Safety at Work Acts are satisfied. For the purposes of construction (Construction Design Management 1994) the Contractor is to act as Principal Contractor and to ensure that all aspects of Regulation 2 - site notification requirements are satisfied. The Contractor is to check the position of all statutory authority services i.e. BT, Electricity, Gas, Water, Drains etc., prior to commencement of any work on site. FOUNDATIONS All foundations to be made concrete designated mix type FN2 in accordance with Table 6, BS5328 Part 1, 1997 and with a min cement content of 300kg/m<sup>3</sup>. All strip footings noted above to be taken down to natural ground all to be Building Control Officers approved. WALLS New wall construction - 150mm STONE, to match existing. 100mm cavity with full width of mineral insulation. 100mm solid insulating blockwork TOPROTE STANDARD BLOCK - weight 18.5kg - Size 440 x 225 x 100 (Nominal). All walls to be finished with 12mm plasterboard with 3mm finishing plaster skim. All cavity walls to be tied together at 900mm horizontal and 450mm vertical staggered centres (closed up to 225mm centres around all openings) using double headed stainless steel ties to BS 1243 (Type AC-Q2 by Ancon Clark or similar). Ties in dormered joints. All cavities to be closed around openings to give 0.5 hour minimum fire protection (min). Blumens fell DPC to be provided min 150mm above ground level & to all jombs, heads & cills (Min 100mm lap). All new masonry to be fixed to existing walls using 'CATNIC' strongwall wall construction fixed strictly in accordance with the manufacturer's recommendations. Or bonded in. Cavity to be filled with weak mix concrete up to 150mm below DPC to inner leaf. Mortar to be designated (ii) to BS 5628 Part 1: 1978 (1:1.6 cement:lime:sand or equivalent). All new brickwork to match existing. New cavity wall construction to provide a 'U' not exceeding 0.50W/m<sup>2</sup> K. All new doors and windows to be UPVC double glazed to suit the match ext / Clients req'ts. All new windows to have opening lights with an equivalent area of not less than 1/20th of the total room floor area. FLOOR CONSTRUCTION: - as noted on drawing. Note: - Finished ground floor levels to match existing. First floor construction: - as noted on drg. ROOF CONSTRUCTION Roof finishes to match existing in interlocking roof tiles on 38x25 treated SW timber battens on roofing felt to minimum standard LF BS 747 on. NB: Modifications may be req'd to the ealy roof structure (ie. partial re-roofing where noted) in order to form the proposed roof. Details to be confirmed on site by the roofing specialist / main contractor. Roof pitch to suit existing roof slope (to be agreed on site). Wall plate to be 100x50mm treated SW grade C16/C23. Wall plate to be secured to inner leaf of wall using 30 x 5 galvanised mild steel straps @ min 900mm ctrs. Roof to have ventilation not less than 0.3% of the total roof area. Gable batten to be provided along gable end of new extension all to timber specialist details (if required). Timber trussed rafters & jack rafters to be fixed to wall plates using proprietary brass clips. M16 steel ties to be provided @ ceiling & rafter level over min 200mm rafters or binders max. LINTELS All lintels by 'catnic' as specified on plans, min 150mm bearings unless noted otherwise. All steelwork to be grade S275 (43) in accordance with BS 449 & to be with treated to S1 & painted with 200 coats of high build one primer prior to 75 microns DFT & case in plasterboard & skim as noted on plan. All steelwork located within the cavity to be given 200 coats of bituminous paint. All lintels & window jombs to be insulated. SERVICES Any services below and within 1000mm of new structure are to be enclosed in 150mm concrete (minimum). Any services passing through external walls are to have 70mm precast concrete lintels over. Should any specialist services require removal or relocation ie. water, gas, electric etc., then the relevant specialist and Local Authority must be informed by the Main Contractor. Any services passing through new foundations are to be enclosed in fibreglass. VENTILATION All habitable rooms to have 8000mm<sup>2</sup> trickle ventilators. All above ground floor drainage ie. RWP's and Gutters etc. to match existing. To main contractor details. GDNW All lead upstands/flashings to be Code 4. All lower panes of glass to external doors to be toughened or laminated glass. All timber to be in accordance with BS 5268, Part 2; 1984 All timber to be adequately treated against fungal and insect attack. All new windows to be double glazed. The Main Contractor is to be solely responsible for all necessary temporary propping works to ensure the stability of the structure during the course of the works. This is to include the stability of all adjacent structures. The Contractor is to check all dimensions on site prior commencement of construction. All electrical works to be in accordance with the latest IED Regulations.

Rev	Description	Date
B	EXTENT OF GROUND FLOOR INCREASED	15.08.14
A	ISSUED FOR PLANNING	24.07.14

**Project Name**  
W J SCOTT  
LOW LEAM COTTAGE, WEST WOODBURN  
HEXHAM, NORTHUMBERLAND  
**Drawing Title**  
EXISTING AND PROPOSED  
PLANS, ELEVATIONS AND  
SECTIONS FOR PROPOSED  
TWO STOREY SIDE EXTENSION  
**Scale** AS SHOWN **Date** JULY 2014  
**Dwg No** 2014/006 **Rev** B