

DESIGN & ACCESS STATEMENT

Applicant: Mrs Catriona Fursdon, Fursdon, Cadbury, Exeter, Devon EX5 5JS
Location: The Hut, Fleehope Farm, Wooler, Northumberland NE71 6TU
Proposal: The extension of an existing dwelling

1. Background

The Applicant is the current lease holder of the Hut at Fleehope Farm, which is situated in the College Valley approximately 5 miles to the south of the village of Kirknewton and approximately 10 miles to the south west of the town of Wooler in Northumberland. The property sits within the Cheviot Hills and the Northumberland National Park. Refer to the Location Map provided at **Appendix 1**.

The boundary of our ownership is shown edged in blue on the Site Plan provided at **Appendix 2** and the Location Plan (Drawing No 1043937/LP) submitted in support of this application.

The property is held in family occupation and is currently used by family members, and the extended family for short stays all year round. The correct Notice of the Application has been served on all others with a legal interest, namely the freehold owners of the property.

A pre-application enquiry was submitted to the Northumberland National Park by Mr Finlay Mitchell on the 4th August 2015 relating to the proposed extension of the existing dwelling. Rebecca Adams (Planning Officer) replied on behalf of the National Park on the 27th August (Reference 15/0042) and was generally supportive of the proposed development. A copy of the formal response to the pre-application enquiry is provided at **Appendix 3**.

2. Our Proposal

The existing dwelling known and described as "the Hut" is of timber frame construction under a pitched green roof. The accommodation currently provides a large kitchen/living room, together with a bunk room and a separate shower room. Refer to the existing floor plans and elevations (Drawing No 1043937/01).

The proposed development relates to a single storey extension of the existing dwelling extending to 5.2 metres off the north elevation. The proposed extension will provide an additional bedroom and provide a separate shower room and wc. It is also proposed to create a new canopy over the existing front door in the west elevation, and enclose an area in the south west corner of the existing dwelling to create a new boot room. Refer to the proposed floor plans and elevations (Drawing No 1043937/03H).

The proposed additions to the existing dwelling shall be of timber frame construction and clad in timber externally to match existing. The existing roof will simply be extended over the new boot room in the south west corner whilst the roof of the new canopy over the front door shall be formed in natural slate.

The roof of the proposed extension to the north shall be set at a slightly lower ridge height to create a natural break in the roof line when the property is viewed from the side.

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It was originally intended that the roof of the proposed extension would be made in turf to match the existing dwelling. However, in order to achieve both a reduced ridge height, whilst also maintaining a practical eave height, it is proposed to roof the new extension in natural slate to contrast the existing green roof.

The proposed windows and external doors shall be of timber frame construction to match existing and all new windows shall be double glazed. The proposed development will also require some re-configuration and alterations to existing window and door openings. Refer to Drawing No 1043937/03H.

3. Design Principles & Concept

3.1 Use:

The proposed development will extend an existing dwelling which shall remain in residential use. The proposed extension to the north shall provide an additional bedroom and provide a separate shower room and wc, whilst in-filling the south west corner of the existing accommodation shall provide a dedicated boot room.

3.2 Layout:

The layout of the existing accommodation shall remain the same, whilst the layout of the proposed additional accommodation is shown on Drawing No 1043937/03H.

3.3 Scale:

The proposed extension to the north shall measure 4.6m wide by 5.2m long, with a eave height of 2.2m and a corresponding ridge height of 3.5m.

The in-filling of the area in the south west corner of the existing accommodation to create the boot room and the new canopy over the front door are shown on Drawing No 1043937/03H.

3.4 Appearance:

The appearance of the extension to the north will match the existing structure, and shall be of timber frame construction and clad in timber externally to match existing. The existing roof will simply be extended over the new boot room. The roof of the proposed extension shall be set at a slightly lower ridge height to create a natural break in the roof line when the property is viewed from the side. It is also proposed to roof the new extension in natural slate to contrast the existing green roof over the main area of accommodation

The proposed windows and external doors shall be of timber frame construction to match existing and all new windows shall be double glazed.

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3.5 Archaeology, Heritage & Biodiversity

The proposed development is not considered to have any adverse affects in terms of archaeology, heritage or biodiversity.

The formal response to the pre-application enquiry (refer to Appendix 3) stated that a bat survey would not be required in this case.

3.6 Lighting Assessment

The proposed development does not include any additional external lighting.

The only existing external lighting is a bulkhead over the existing front door which shall be retained.

3.7 Drainage:

Clean roof water shall be directed to the existing clean water drainage system. The proposed shower room and wc shall be connected to the existing foul drainage system (Refer to Drawing No 1043937/03H).

4. Proposes Access Arrangements

The existing access arrangements will remain unchanged.



Mr S Talling MRICS FAAV

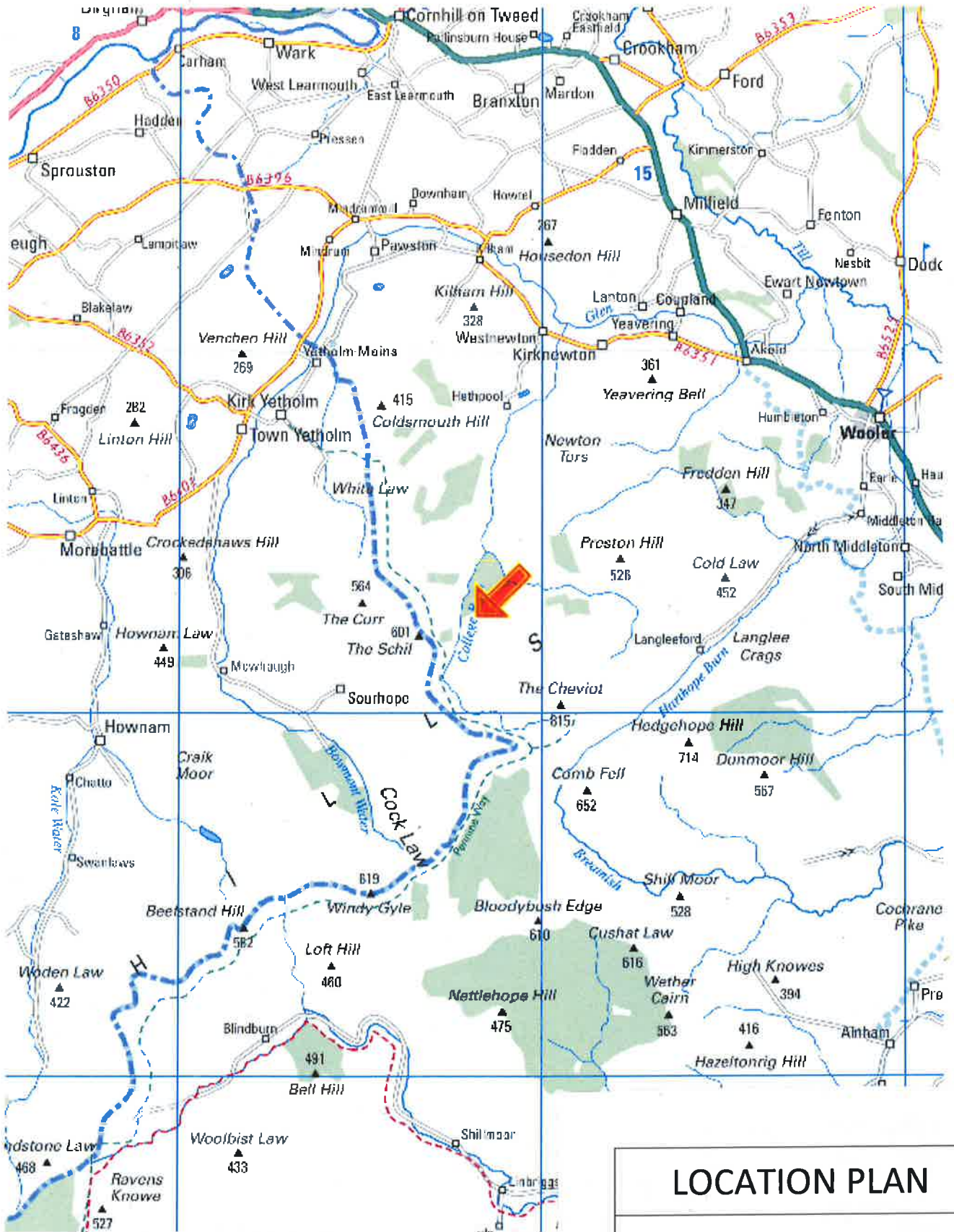
Steve Talling Consulting Ltd

For and on behalf of the Applicant

17th February 2017
Date

Appendix 1
Location Map

The Hut
Fleehope Farm
Wooler
Northumberland



LOCATION PLAN

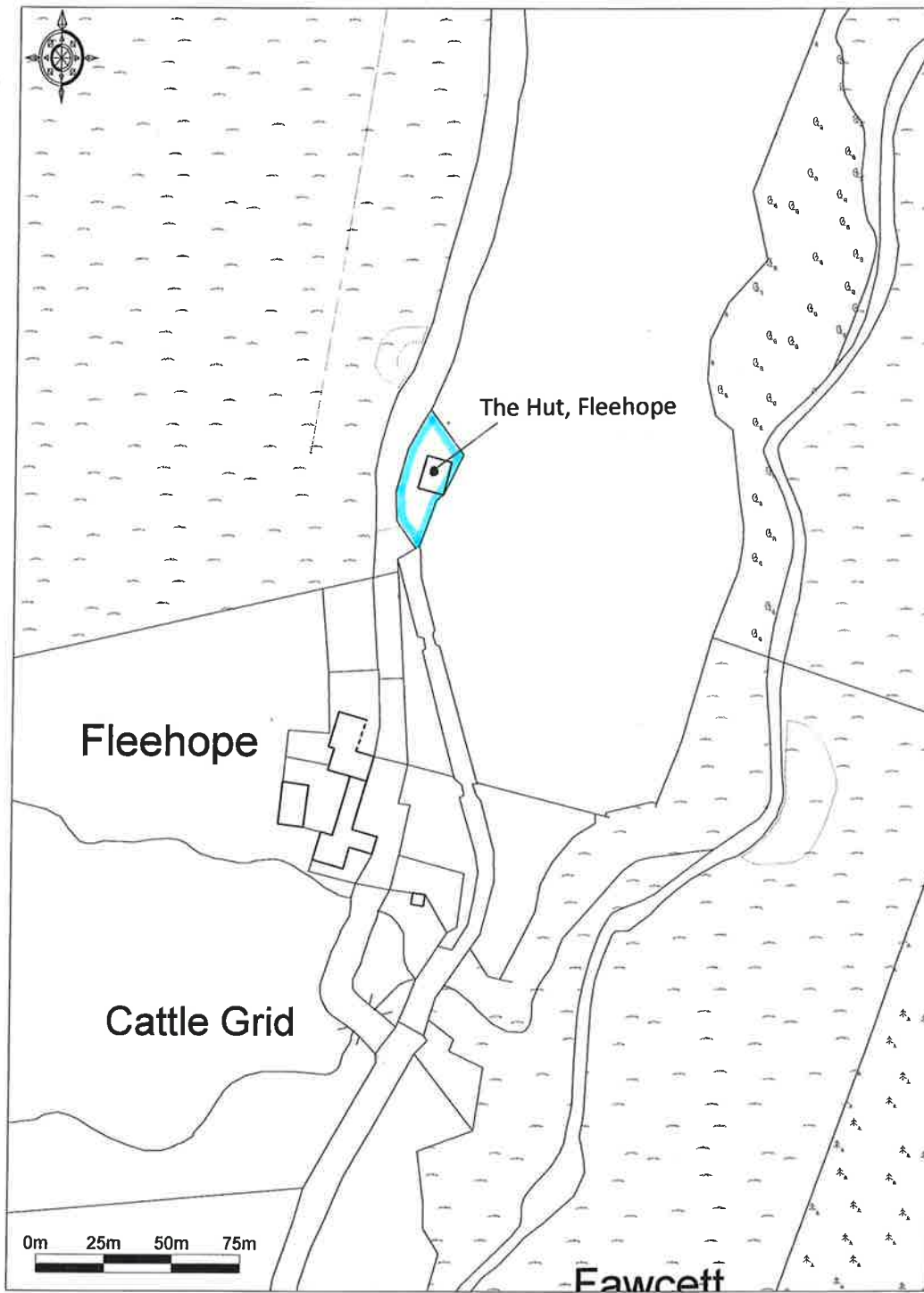
The Hut
 Fleehope Farm
 Wooler
 Northumberland

Plan for identification purposes only
 Not to Scale

Appendix 2

Site Plan (ownership edged in blue)

The Hut
Fleehope Farm
Wooler
Northumberland



Promap
Ordnance Survey © Crown Copyright 2017. All rights reserved.
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SITE PLAN
The Hut Fleehope Farm Wooler Northumberland
Plan for identification purposes only Scale 1:2500

Appendix 3

Response to pre-application enquiry dated 27th August 2015

The Hut
Fleehope Farm
Wooler
Northumberland



Northumberland National Park Authority
Eastburn, South Park, Hexham
Northumberland NE46 1BS
Tel: 01434 605555

Mr. Finlay Mitchell
Swinton Mill House
Swinton Mill
Coldstream
Berwickshire
TD12 4JS

Date : 27th August 2015
Our Ref : 15/0042
Your Ref :
Contact : Rebecca Adams
Direct Line : 01434 611552

Proposed construction of side extension at The Hut, Fleehope Farm, Hethpool, Wooler, NE71 6TU

I refer to your pre-application enquiry which was received by Northumberland National Park Authority on 10th August 2015. Following consideration of the information submitted, my response is given below. This will cover the following points:-

- Whether planning permission would be required for the proposal;
- Whether the proposal would be supported at full application stage; and
- Recommendations and conclusions, including details of information necessary to accompany an application for planning permission.

Would planning permission be required?

The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) (referred to a GPDO) refers to permitted development rights for householders (i.e. works which do not require planning permission). Part 1 Class A refers to "*the enlargement, improvement or other alteration of a dwellinghouse*". This includes single storey extensions.

Based on the information submitted, I understand that the enquiry details the construction of a single storey extension to the side of the property. This would project 5m from the side elevation, proposing ridge and eaves heights of 3.5m and 2m respectively, with a dual pitched roof, finished with turf. I note that the existing building is constructed from timber, which would also be used for the construction of the extension.

Following our telephone conversation on 20th August 2015, based on the floor plans submitted, I further understand that the works would also comprise an extension to the front of the property, 'infilling' the south-western corner. The



scheme would additionally facilitate internal re-configurations and alterations to existing window and door openings.

Part 1 Class A A.2(b) states that *“in the case of a dwellinghouse on article 2(3) land, development is not permitted (i.e. planning permission would be required) by Class A if the enlarged part of the dwellinghouse would extend beyond a wall forming a side elevation of the original dwellinghouse”*.

The property lies within the Northumberland National Park, which falls within this designation of article 2(3) land. On this basis, given the position of the proposed extension to the side elevation of the property, it is my opinion that **planning permission would be required for this aspect of the development.**

The proposed front extension would furthermore extend beyond a wall which constitutes a side elevation of the property. **Planning permission would therefore also be required for this aspect of the development.**

Planning permission would however not be required for any internal reconfigurations to the property, or the installation of new windows or doors.

The acceptability of the proposed works is set out below, followed by details of information required for the submission of a planning application for the above scheme.

Appraisal

Principle of development

Any application for planning permission would be assessed against the National Planning Policy Framework (NPPF) and policies in the National Park Authority's Core Strategy and Development Policies Document (Core Strategy) in order to establish whether the principle of such a proposal would be acceptable.

The proposed development would also be considered against further national and local planning policies; the main considerations in the assessment of this proposal would include the design of the proposed extensions and any wider impacts upon the views, landscape, character and special qualities of the National Park.



Design Principles

The construction of a small residential extension to an established open countryside property is likely to be acceptable in principle, subject to acceptability in terms of design and wider impacts upon the Park.

Great importance is placed upon utilising good design principles, as set out within the NNPA Design Guide Supplementary Planning Document (SPD). This SPD is a material consideration in the determination of planning applications, and is therefore given due weight in the assessment of relevant proposals. The principles of good design can also be found set out within planning policies at both Local (Core Strategy) and National (NNPF) level.

Having considered the information submitted, I consider the proposed choice of materials (timber with a grassed roof) to be appropriate to the site, as these would replicate the character and appearance of the existing building and would be in keeping with the property's surroundings.

The elevational drawings submitted indicate that the height of the extension to the northern end would be slightly set down from that of the main property; this aspect of the design would also be supported, as this would enable some level of subservience to be achieved between the property and extension.

Whilst not shown on the elevational drawings submitted, I note from our telephone conversation that the proposed front extension (to the south-western corner) would continue the line of the existing roofslope down. This aspect of the design is also considered to be acceptable in principle, subject to a review of drawn details showing this, and would likely be in keeping with the appearance of the property. The proposed design of the development as a whole is therefore likely to be acceptable in principle.

National Park Special Qualities

Core Strategy Policies 17-20 set out key considerations in relation to the special qualities of Northumberland National Park. Due consideration must be given to these policies, as it is very important to mitigate against any harmful issues surrounding the Park's intrinsic qualities.

In terms of this proposal, I am not aware of any implications surrounding archaeological heritage or biodiversity; however any arising matters would be



assessed at full application stage in terms of Core Strategy Policies 17 and 18. Following informal discussions with the NNPA Ecologist, it has also been advised that a bat survey would not be required in this case.

Tranquillity (Policy 19)

Particular importance is placed upon the conservation and enhancement of the tranquillity of Northumberland National Park. This is assessed in terms of impacts upon the level of light, noise or traffic generated by the development, and any impacts upon the openness and quiet enjoyment provided by the landscape.

You may be aware that Northumberland National Park is internationally recognised as a Dark Sky Park. This has implications for both the tourism potential of the Park, however also importantly, the type and level of lighting proposed within the Park as part of both existing and proposed developments.

No details of any proposed external lighting have been provided as part of your enquiry, and it may be that there is no new lighting required for the site. Notwithstanding this, I will take this opportunity to advise you that any new external lighting should be kept to an absolute minimum, and should be carefully considered and designed due to potential impacts upon dark skies and tranquillity. I would also encourage you to consider changing any existing external lighting to 'dark sky friendly' lighting, one of the many benefits of which is increased energy efficiency. Any details of proposed external lighting should be noted on the application form submitted. A Lighting Assessment may also be required to accompany a planning application proposing external lighting.

Impact upon Landscape Character (Policy 20)

Core Strategy Policy 20 places importance upon the conservation and enhancement of the natural beauty and heritage of Northumberland National Park, and sets a requirement for the assessment of all proposals in terms of their impact upon Landscape Character. Any application for planning permission will therefore be assessed in terms of its impact upon the appearance of the surrounding landscape character, and will be carefully considered by Policy 20.



Conclusions and Recommendations

To summarise, my opinion is that the proposed extensions would require planning permission; however these are likely to be acceptable in principle, subject to consideration of the points raised above and to the final details of the proposed scheme.

I would therefore welcome an application for planning permission, and consider that the following documents would be necessary in support of such an application:-

- **Completed householder application form and ownership certificates** (available to download on our website from the [Validation Checklist](#))
- **Relevant fee** (£172) (payable by either cash or cheque)
- **Site location plan** (to scale 1:2500 or 1:1250). The site boundary should be clearly edged in red, along with any other land associated with it (e.g. the property, access, garden, parking etc.). Any other land in the same ownership should be edged in blue
- **Site plan** (to scale 1:100 or 1:200). This should show the existing and proposed layout of the site illustrating existing and proposed features
- **Proposed Elevations, Floor Plans and Roof Plans** (to a recognised scale e.g. 1:50 or 1:100). These should illustrate the existing and proposed building in as much details as possible, and may be annotated to show materials etc.
- **Planning Statement** (*may be required*). This gives you an opportunity to provide relevant supporting information or details of how the development meets policy requirements, and set out any proposed details that are not shown on the existing or proposed plans
- **Lighting Assessment** (*required if any external lighting is proposed; see advice above and also our [Validation Checklist](#)*)
- **Any other information relevant to the proposal**, such as photographs of the site

The Authority has recently undertaken to renew its Validation Checklist which sets out each of the requirements above in detail. I strongly suggest that you consult this document for further guidance. This can be found online [here](#). You will need the 'Householder' validation requirements list.



The above advice is based on the information you have provided so far and is a preliminary assessment of your proposal. This assessment has also been made without the benefit of the full consultation process which would be carried out should you submit a planning application. The advice given above is based on current national and adopted local planning policies, which may change over time, and is given without prejudice to any officer recommendation or decision by the Authority with respect to a future application. Copies of the relevant local policies can be found on the Authority's website here.

I trust that this is of use to you. Please do not hesitate to get in touch should you require clarification on any of the points I have raised.

Yours sincerely,

R. Adams

Rebecca Adams
Planning Officer

e-mail: rebecca.adams@nnpa.org.uk

web: www.northumberlandnationalpark.org.uk/about/planning