



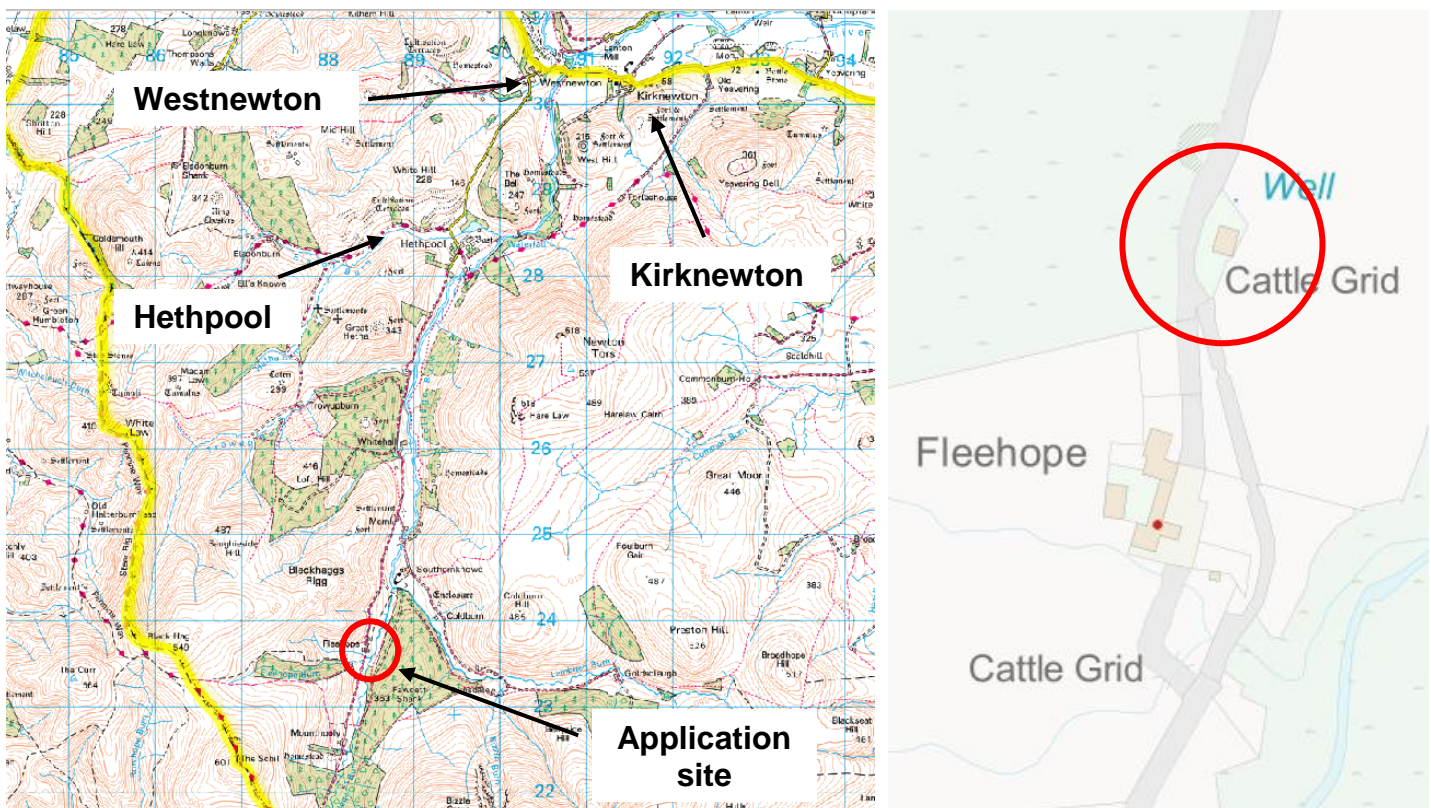
## DELEGATED DECISION REPORT

<b>Application Reference Number</b>	17NP0020
<b>Description / Site Address</b>	Construction of single storey extensions at The Hut, Fleehope Farm, Wooler, Northumberland, NE71 6TU
<b>Expiry date of publicity / consultations</b>	14 April 2017
<b>Last date for decision</b>	26 April 2017

### Details of Proposal

Planning permission is sought for the construction of single storey extensions to the property known as The Hut, north of Fleehope Farm, Wooler.

The property is a single storey building presently used as holiday accommodation which is situated within the College Valley 5km south of Hethpool, approx. 7km south of Westnewton. The building is located adjacent to a single track road which passes the site and nearby Fleehope Farm in a north-south direction and terminates close to Mounthooly Bunkhouse, some 1.3km to the south of the site.

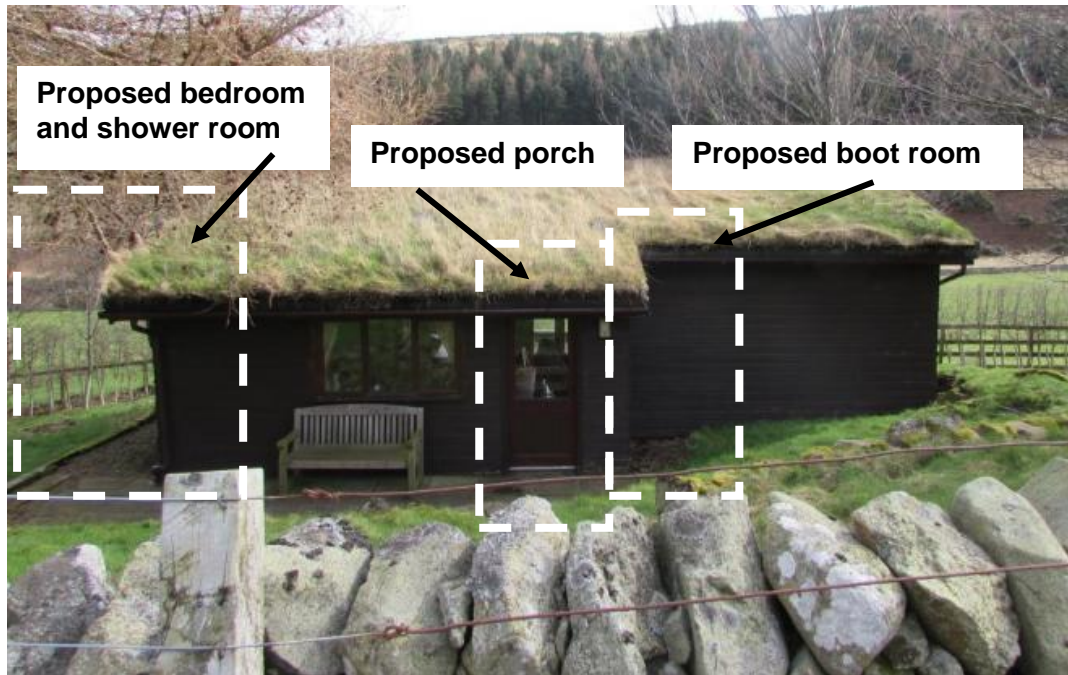


*Maps showing location of application site*

The scheme proposes the construction of an extension to the northern end of the building, facilitating the creation of a bedroom and shower room, and a small extension to the south western corner of the building, facilitating the creation of a boot room. The scheme also seeks the



construction of an open sided canopy 'porch' structure above the existing entrance door to the western side (front) of the building.



*West facing elevation of building (hatched shapes illustrate approximate location of extensions)*

The extensions to the north and south western corner of the property would be finished with horizontal timber cladding to match the construction of the existing building. The extension to the northern end of the building would be roofed with natural slate, with the extension to the south western corner finished with a green roof to match that of the remaining building. The proposed porch canopy would be open sided and of timber construction, finished with a slate roof.

### **Planning Policy & Guidance**

#### **National Policies**

National Planning Policy Framework (NPPF) (2012)

National Planning Practice Guidance (2015)

#### **Local Policies**

**Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)**

Policy 1	<i>Delivering Sustainable Development</i>
Policy 3	<i>General Development Principles</i>
Policy 5	<i>General Location of New Development</i>
Policy 17	<i>Biodiversity and Geodiversity</i>
Policy 18	<i>Cultural Heritage</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>
Policy 25	<i>Renewable Energy and Energy Efficiency</i>



### **Supplementary Planning Guidance**

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)  
NNPA Landscape Supplementary Planning Document (Landscape SPD)

### **Relevant Planning History**

None relevant to this application

### **Consultation/Representations**

**Kirknewton Parish Council: No objections**

**No representations received** in response to a notice displayed at the site on 24.03.2017

### **Assessment**

The main issues to be taken into consideration in the assessment of this application are:

- The Principle of the Development;
- Design and Amenity;
- Impact upon National Park Special Qualities; and
- Renewable Energy Considerations

### **The Principle of the Development**

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy 1 of the NNPA Core Strategy seeks to ensure that development proposals will conserve or enhance the special qualities of the National Park. The effects of the proposed scheme on these qualities are discussed in more detail later in this report.

The application site is located within the open countryside whereby Core Strategy 5 policy limits development to the re-use of existing buildings, with new buildings only permitted where these could not be located elsewhere and would not impact detrimentally upon the special qualities of the National Park. The extensions proposed to this existing property are considered to be reasonable requirements of this site and, as assessed below, would not result in harm to the special qualities of the National Park. In this regard it is considered that the proposed development would accord with the aims and objectives of Core Strategy policy 5 and the NPPF.

### **Design and Amenity**

The NPPF highlights the importance of good design principles within planning. This is echoed within Core Strategy policy 3, which promotes the principles of sustainable development, requiring the design and construction of development proposals to protect and enhance local character. The Design Guide Supplementary Planning Document (SPD) is a material consideration in the determination of planning applications and provides greater detail in support for policy 3.



*Views of application site from the south west and adjacent road (to west)*

The existing building is of unusual construction, being formed from horizontal timber boarding with a grass roof, and is unobtrusive in its appearance within the wider area, being set back and down from the adjacent road and partly camouflaged against rising land to the east by its grassed roof.

The proposed boot room extension would infill part of the south western corner of the building, continuing the form and finish of the existing green roof and being aligned to the existing western (front) elevation of the building, and would be finished in timber cladding with timber double glazed windows, both to match the appearance of those of the existing property. The proposed extension is considered to represent a sympathetic and cohesive addition to the property by virtue of location, size, form and proposed materials and is therefore considered to be acceptable in terms of impact upon visual amenity, in accordance with Core Strategy policy 3.

The proposed bedroom and shower room extension would be located to the northern end of the property. This addition would similarly be finished in timber cladding with timber double glazed windows however would feature a dual-pitched natural slate roof in place of a grassed roof, which would be set down slightly from the ridge height of the host building. Justification has been provided for the proposed use of slate, understood to derive from the desire to achieve a reduced ridge height whilst maintaining a practical eaves height which as a consequence would not afford the use of a grassed roof.

The proposed extension would represent a fairly significant addition to the property, being approximately half the width of the existing building, however would be viewed as a sympathetic and subservient addition by virtue of its inset footprint, reduced ridge height and proposed use of timber windows and cladding (which would be conditioned in order to ensure that it would match the appearance of that of the host property, in order to achieve visual cohesion). Whilst the use of a grassed roof to match the existing building would be preferable, on balance the proposed use of natural slate (which would be secured by condition) is considered to be acceptable given that this would allow the facilitation of a set-down roof height, allowing for a degree of subservience to be achieved, and is an appropriate material within this setting. This aspect of the scheme is considered to be acceptable in terms of impact upon visual amenity and thus accords with Core Strategy policy 3.

The construction of the proposed bedroom and shower room extension to the northern end of the building would necessitate the removal of 1no. tree which at present is directly adjacent to this end



elevation. Whilst the loss of trees is undesirable, the specimen required to be removed does not merit protection under a Tree Preservation Order and is considered to be of no particular significance; furthermore this does not aid the screening of the property from within the wider area, particularly when approached from the north, due to the presence of a number of trees along the northern site boundary, and thus its removal would not increase the prominence of the site from within the wider area. On balance it is therefore considered that the removal of this tree is acceptable in terms of Core Strategy policies 3 and 20.



**Left:** Northern side of building; tree to be removed highlighted

**Right:** View of site on approach from north

The proposed canopy 'porch' is considered to be acceptable in terms of impact upon visual amenity and whilst a grassed roof would be preferable, on balance, the proposed use of natural slate (which would be secured by condition) is acceptable. This aspect of the scheme is therefore in accordance with Core Strategy policy 3.

Due to the nature of the proposed extensions and proximity of the property from neighbouring dwellings there would be no detrimental impact upon residential amenity, in accordance with Core Strategy policy 3.

### **Impact upon National Park Special Qualities**

No implications surrounding cultural heritage or ecology and biodiversity have been identified in relation to this property and the proposed works. The NNPA Ecologist confirmed at an earlier stage that a Bat Survey was not required to support this application.

The information submitted confirms that no additional external lighting is proposed to the building. Notwithstanding this, due to the very remote location of the property and that the proposed scheme incorporates the creation of new external doors from the bedroom, it is considered appropriate to



include a condition restricting the installation of further external lighting in relation to the proposed extensions in order to protect the tranquillity of the National Park through the impact of inappropriately designed external lighting, in accordance with Core Strategy policy 19 and the NPPF.

Whilst visible from the adjacent vehicular highway and nearby Public Rights of Way, the proposed alterations would not detrimentally impact upon the landscape character or views of this part of the National Park due to their relative size and relationship to an existing property and retention of screening along the northern site boundary. The proposal thus accords with Core Strategy policy 20 and the NPPF.

### **Renewable Energy Considerations**

Core Strategy policy 25 requires all new developments, including conversions, to minimise the amount of energy used in construction, achieve high energy efficiency, and utilise renewable energy sources in order to offset at least 10% of the predicted energy requirements of the development. As the proposed scheme comprises extensions to an existing property, and is therefore not new development or a conversion, policy 25 is not relevant to this case.

### **Recommendation & Conditions**

It is recommended that conditional planning permission be granted subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission and to comply with Section 91 (as amended) of the Town and Country Planning Act 1990 and Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form, received 20<sup>th</sup> February 2017
- Location plan, received 20<sup>th</sup> February 2017
- Floor Plan, Elevations and Site Plan as proposed (Option 2) (Dwg. No. 1043937/03H), received 20<sup>th</sup> February 2017
- Design and Access Statement, received 1<sup>st</sup> March 2017
- Email correspondence, subject '*RE: Fleehope Farm (17NP0020)*', dated 11<sup>th</sup> April 2017

Reason: For the avoidance of doubt and to ensure that the development accords with policies 1, 3, 5, 17, 18, 19, 20 and 25 of the NNPA Core Strategy and the National Planning Policy Framework (NPPF).



3. The slate to be used in the construction of the extensions hereby permitted shall be natural slate only and shall be retained as such in perpetuity.

Reason: To ensure that the development respects the appearance of the existing property and to maintain the visual appearance and amenity of the area and the special qualities of the National Park, in accordance with Core Strategy policies 1, 3, and 20 and the NPPF.

4. The timber cladding to be used in the construction of the extensions hereby permitted shall match the colour and appearance of that of the existing building and shall be retained as such in perpetuity.

Reason: To ensure that the development respects the appearance of the existing property and to maintain the visual appearance and amenity of the area and the special qualities of the National Park, in accordance with Core Strategy policies 1, 3 and 20 and the NPPF.

5. Prior to the fixing of any external lighting required in connection with the extensions hereby permitted, details of the external lighting shall be submitted to and agreed in writing by the Local Planning Authority. Details should include:

- The specific location of all external lighting units;
- Design of all lighting units;
- Details of beam orientation and lux levels; and
- Any proposed measures such as motion sensors and timers that will be used on lighting units.

The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such thereafter, unless removed entirely.

Reason: In order to ensure that there is no harmful effect upon the tranquillity and intrinsically dark character of the area, including the Northumberland Dark Sky Park through excessive light pollution, in accordance with Core Strategy policy 19 and the National Planning Policy Framework (NPPF)

### **Informative Notes**

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:

(a) Any variation from the approved plans following commencement of development, irrespective of the degree of variation, will constitute unauthorized development and may be liable to enforcement action.

(b) You or your agent or any other person responsible for implementing this permission should inform the Northumberland National Park Authority's Development Management team immediately of any variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.



2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

**Background Papers**

Application file 17NP0020  
EIA Screening Opinion

	<b>Signature</b>	<b>Date</b>
<b>Planning Officer</b>		
<b>Head of Development Management or Chief Executive</b>		