



DELEGATED DECISION REPORT

Application Reference Number	17NP0131
Description / Site Address	Change of use of double garage and store to holiday accommodation. Demolition of garage and rebuilding of double garage with holiday accommodation above at Kirknewton House, Kirknewton, Wooler, Northumberland, NE71 6XF
Expiry date of publicity / consultations	5 February 2018
Last date for decision	5 March 2018

Details of Proposal

This application seeks approval for the i) conversion of an existing single storey double garage into holiday accommodation and ii) the demolition of an existing open fronted store and replacement with a two storey building to provide a double garage below and holiday accommodation above.

The application site is within the curtilage of Kirknewton House, which is located towards the southwest of the Kirknewton Conservation Area. Kirknewton House is a Grade II Listed Building dating from 1830-1840 and is of roughcast painted render with ashlar dressings and a slate roof. Further listed buildings are located directly to the north (St Gregory's Church) and east (East Kirknewton Farm and West Kirknewton Farm).

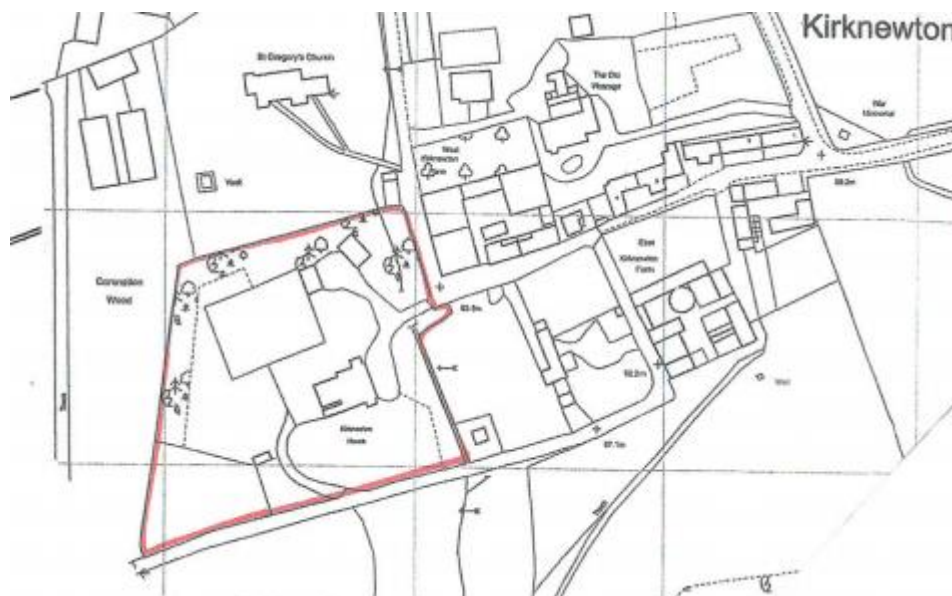


Figure 1: Site Location Plan

The garage to be converted is constructed from rendered stone with quoins and a Welsh slate roof. Existing windows and doors to the east elevation would be replaced with new timber frames. A new timber panel door would be introduced to the north elevation and a timber casement window and timber panel door to the west elevation, both of which would be edged with quoins. All new windows and doors would be stained 'Wintery Tide' (bluey /green). The building would have a light grey steel flue and cast iron rainwater goods. No extensions are proposed as part of the conversion.



Internally, the conversion would provide for two en-suite bedrooms with a shared living area, kitchen and utility room. The new door to the west elevation would lead to a small fenced garden area.

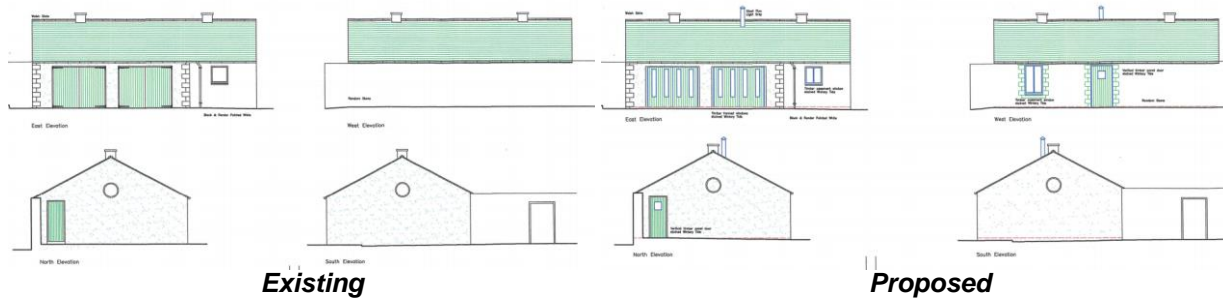


Figure 2: Garage Conversion - Existing and Proposed Elevations

The store to be demolished is constructed from corrugated iron with timber rails and posts. While the proposed replacement would have a slightly smaller footprint (9.85 x 6.10m compared to 10.00 x 6.70m) it would be significantly higher (a maximum height to ridge of 6.30m compared to 3.7m) as it would incorporate an additional storey. The building would be constructed from oak posts and beams and clad in larch with a gable roof incorporating a dormer to the north-east elevation. The roof would be tiled in reclaimed Welsh slate with conservation velux windows. The building would have a maximum eaves height of 3.95m and ridge height of 6.30m.

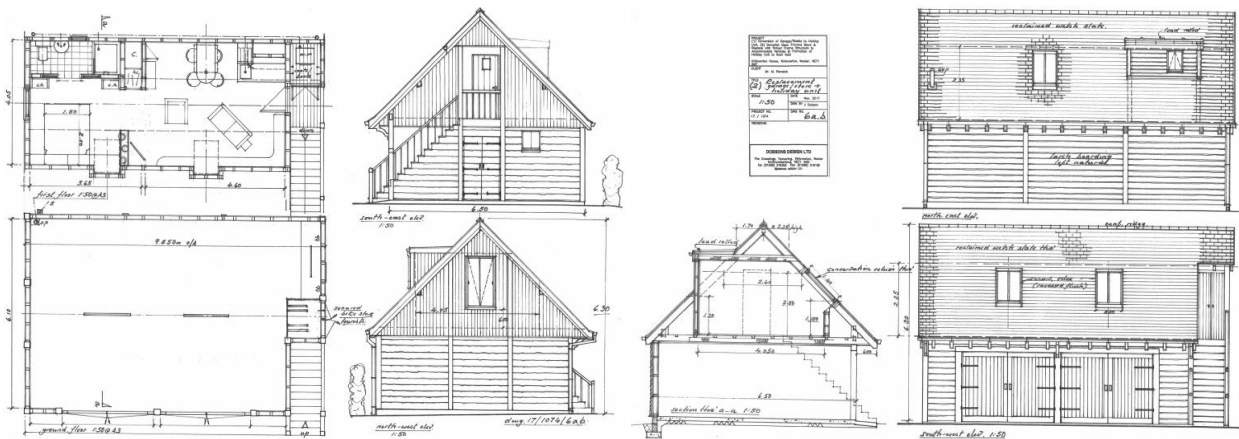


Figure 3: New Garage / Holiday Unit: Plans and Elevations

The building would provide for a double garage / store to the ground floor and a self-contained one room holiday unit to the first floor. Access to the holiday accommodation would be via an external staircase located to the south-west elevation. Two parking spaces for each holiday unit have been provided as part of scheme design. An area for secure cycle storage has also been provided within the proposed garage / holiday unit.

Listed Building Consent is also being sought for the proposed works under application reference 17NP0132LBC.

Planning Policy & Guidance



National Policies

National Planning Policy Framework (NPPF) (2012)

National Planning Practice Guidance (2015)

Local Policies

Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)

Policy 1	<i>Delivering Sustainable Development</i>
Policy 2	<i>Climate Change</i>
Policy 3	<i>General Development Principles</i>
Policy 5	<i>General Location of New Development</i>
Policy 6	<i>The Sequential Approach</i>
Policy 10	New Housing Development
Policy 12	<i>Transport and Accessibility</i>
Policy 14	<i>A Sustainable Local Economy</i>
Policy 15	<i>Sustainable Tourism & Recreation Development</i>
Policy 17	<i>Biodiversity and Geodiversity</i>
Policy 18	<i>Cultural Heritage</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>
Policy 25	<i>Renewable Energy and Energy Efficiency</i>
Policy 28	<i>Utilities and Infrastructure</i>

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

00NP0015 Conversion of stables to garage and extension. *Conditional planning permission granted 19/05/2000*

00NP0037 Demolition of outbuilding and creation of a new access into garden, replacement window and re-roofing of existing outbuildings. *Application withdrawn.*

00NP0038LBC Listed Building Consent in respect of demolition of outbuilding and creation of a new access into garden, replacement window and re-roofing of existing outbuildings. *Consent granted conditionally 18/09/2000.*

17NP0132LBC Listed Building Consent in respect of Change of use of double garage and



store to holiday accommodation. Demolition of garage and rebuilding of double garage with holiday accommodation above. *Pending Consideration.*

Consultation/Representations

Kirknewton Parish Council: No response

NNPA Historic Buildings Advisor: No Objection: The proposed conversion of the existing garages to provide holiday accommodation appears acceptable. However, it is considered that the proposed windows should be timber double hung sliding sash to match the style of those of Kirknewton House, should be recessed into their openings by at least 100mm and should not include trickle vents. The doors should also be timber with a painted finish and recessed into their opening by at least 100mm. Any new rainwater goods should be cast iron with traditional spiked brackets.

There is no objection to the demolition of the existing 'garage' structure or to the erection of the new garage with accommodation above. However it is considered that additional tree planting be required as a condition in order to protect views from the church and churchyard.

In conclusion, the Building Conservation officer has no objection to these proposals subject to conditions regarding external materials, windows, door and rainwater goods in order to protect the character and appearance of the listed building and its attractive setting within landscaped grounds.

NNPA Historic Environment Officer: No Objection: I have read through the information supplied with the application and consulted the Historic Environment Record for verification and further information. In my view the nature of the proposals are unlikely to have a significant impact on archaeological deposits relating to the medieval and later settlement of Kirknewton. The extent of previous work in the area and the contained nature of the application support this view. As a result I have no objection to the proposal as presented.

NCC Highways: No objection. No objection subject to appropriate conditions requiring the implementation of the car parking area; implementation of cycle parking and ensuring no refuse to be stored outside of the approved refuse area. Also informatives reminding the applicant not to store building material or equipment on the highway or to deposit mud, debris or rubbish on the highway.

NNPA Ecologist: No Objection. I have read the bat risk assessment that accompanies this application and no have objections on ecological grounds. I note that to give a net gain for biodiversity that the report suggests the erection of swegler bat boxes. This is a welcome addition, but is it something that you can condition? I also note that some leylandii trees are to be removed. In the heritage statement rhododendron is mentioned as a replacement; I do not think this would be something to encourage and native hardwoods may be more appropriate depending on how close to the churchyard wall they are to be planted. Perhaps a landscaping condition could be put on if permission is granted. If you wish to discuss this further I am happy to do so.



NCC Environmental Protection: No comment

Environment Agency: No response

The application was advertised by means of two neighbour notification letters issued on the 9th January 2018, a notice displayed on the site on 15th January 2018 and a notice within the local press on 12th January 2018. No comments have been received in response.

Assessment

The main issues to be taken into consideration in the assessment of this application are:

- The principle of the development;
- Design and amenity;
- Impact upon cultural heritage;
- Impact upon National Park special qualities;
- Foul drainage and utilities;
- Land contamination;
- Highways
- Renewable energy considerations
- Highways

The principle of the development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy 1 of the NNPA Core Strategy Local Development Framework (Core Strategy) seeks to ensure that development proposals will conserve or enhance the special qualities of the National Park. The effects of the proposed scheme on these qualities are discussed in more detail later in this report.

The application site falls within the village of Kirknewton, identified as a Smaller Village by Core Strategy policy 5, within which development is to take place where this contributes to the provision or protection of village services. The proposed provision of tourism development on the site is considered to be acceptable in principle and would not conflict with the aims and objectives of policy 5 or the NPPF. Core Strategy Policy 6 outlines the sequential approach by which development within sustainable locations should be prioritised. The application would make use of previously developed land and buildings within a settlement identified in Policy 5. The proposals would therefore reflect the priority for development as outlined within Policy 6 and are considered to be consistent with its aims and objectives.

NPPF Paragraph 28 seeks to support economic growth in rural areas by requiring planning policies to take a positive approach to sustainable new development, supporting the growth and expansion of all types of business and sustainable rural tourism and leisure developments that benefit businesses in rural areas, communities and visitors, and which respect the character of the countryside. Core Strategy policies 14 and 15 also aim to create and retain a sustainable local



economy through the provision of support for sustainable tourism and recreation developments which relate to and allow opportunities for visitors to increase their understanding and enjoyment of the special qualities of the National Park without detrimentally impacting upon them, particularly where they integrate with existing facilities. Policy 15 (c) gives specific support to proposals which reuse buildings to provide tourist accommodation. While the proposals would include the provision of a new building (albeit replacing an existing building) given the location of the proposals within a settlement identified in Policy 5, on balance it is considered the proposals would in principle accord with policies 14 and 15 and NPPF Paragraph 28.

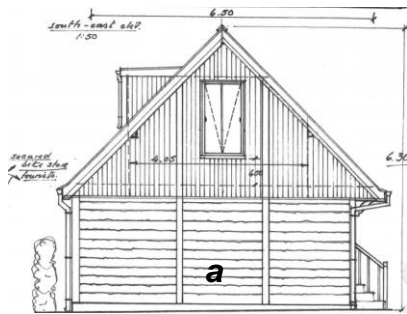
The proposed development relates to the provision of a garage and tourist/holiday accommodation only. It is therefore considered appropriate that this planning approval be subject to a condition restricting the occupancy of the accommodation to holiday use only, as permanent residential accommodation in this location would require a Local Needs restriction in accordance with Core Strategy policy 10.

Design and amenity

The NPPF highlights the importance of good design principles within planning. This is echoed within Core Strategy Policy 3, which promotes the principles of sustainable development, requiring the design and construction of a proposal to protect and enhance local character, and guidance set out within the NNPA Design Guide Supplementary Planning Document (SPD).

The proposed conversion would make use of an existing building with no external alterations other than a new door and window to the west elevation and replacement of some of the existing doors and windows. The new garage / holiday accommodation would be sited on the footprint of an existing single storey store which is of little architectural / cultural interest. While the new building would be two storey, it would be constructed from oak post and beam and clad in larch with a Welsh slate steeply pitched roof, reflecting both the style and materials of other newer buildings within the Kirknewton Conservation Area. It is therefore considered that the proposed development would protect and enhance local character and would be in accordance with the requirements of Core Strategy Policy 3.

Although West Kirknewton Farm is within approximately 25m of the proposed new building, the actual farmhouse is at a distance of approximately 80m with no other residential properties closer than 75m. Given the distances involved and as the eastern boundary which faces towards the neighbouring properties consists of a stone wall with mature planting behind, it is considered that the potential for any impact on the amenity of neighbouring properties would be minimal. The proposals are therefore considered to be in accordance with the requirements of Policy 3 in this respect.



Proposed (a) and existing (b, c) buildings within the Kirknewton Conservation Area

Impact upon cultural heritage

The application is within the curtilage of a Listed Building and also in the Kirknewton Conservation Area and an area of archaeological sensitivity; accordingly the Authority's Historic Environment Officer and Historic Buildings Advisor have been consulted on the application.

Core Strategy Policy 18 states that the National Park Authority will support proposals which conserve, enhance and promote the quality and integrity of the cultural heritage of the National Park. Section 12 of the NPPF seeks, amongst others, to ensure that heritage assets are identified and appropriately assessed when considering proposals; there is recognition that harm can be caused by development that affects the setting and significance of heritage assets and great weight is given to the conservation of heritage assets.

The Historic Environment Officer has advised that given the nature of the proposals, there is unlikely to be a significant impact on archaeological deposits relating to the medieval and later settlement of Kirknewton. This assessment is supported by the extent of previous work in the area and the contained nature of the application. As a result, the Historic Environment Officer has raised no objection.

The Historic Buildings advisor has raised no objection to the proposals as it is not considered that there would be harm the character of the Kirknewton Conservation Area or the setting on the listed building. This is subject to conditions regarding external material, windows, doors and rainwater goods in order to protect the character and appearance of the listed building and its attractive setting within landscaped grounds. A condition requiring the provision of a landscaping plan has also been requested to protect views from the adjacent church and churchyard. It is therefore considered that, subject to appropriate conditions, the proposals would be in accordance with the requirements of Policy 18.

Impact upon National Park special qualities

Tranquillity

Core Strategy policy 19 provides support for development proposals which conserve the tranquillity of Northumberland National Park.



The application form suggests that the proposals will incorporate new external lighting. However details of the design, location and technical specification have not been provided at this stage other than to indicate that they will be low voltage and sensed. In order to protect the tranquillity of the area it is therefore recommended that a condition be attached to restrict the installation of any external lighting required in association with the proposed development without approval first being sought from the Authority. Subject to the inclusion of such a condition the development is considered to be acceptable in terms of impact upon tranquillity, in accordance with Core Strategy policies 1 and 19 and NPPF Paragraph 125.

By virtue of scale, nature and location of the proposals when considered in the context of existing holiday, residential and agricultural uses in the wider settlement it is not considered that the proposed development would detrimentally impact upon the tranquillity of the surrounding area in terms of noise or traffic.

Biodiversity

The impact of the proposed scheme upon the ecology and biodiversity of the National Park has been taken into consideration. The National Park Ecologist has been consulted and has raised no objection. The Ecology Report has however advised that site clearance should avoid the bird breeding season unless a suitably qualified ecologist has first checked for nesting birds and, if present, works are delayed until the young have fledged. The provision of bat boxes and nest boxes has also been proposed. The above will be secured through the inclusion of appropriate conditions.

It has however been noted that a number of leylandii located between the proposed two storey building and boundary with the churchyard are to be removed. While this is not of concern, rhododendron has been suggested as part of a replacement planting scheme with the ecologist favouring the use of native hardwoods. A condition has therefore been requested requiring the submission of a landscaping scheme to ensure the planting of an appropriate suite of species. Subject to the inclusion of an appropriate condition, the proposals are considered to accord with the requirement of Core Strategy Policy 17.

Landscape

The application site is not prominent within the surrounding landscape, being well screened by existing boundary treatments and mature vegetation. Given the nature of the proposed development, conversion of an existing building and a new build on the footprint of an existing building, it is considered that impacts upon landscape character or views of this part of the National Park would be negligible. However, as the proposal involves the removal of a number of leylandii which currently provide screening to the adjacent churchyard, a condition requiring the submission of a detailed landscaping plan would be considered appropriate in this instance. Subject to the inclusion of such a condition, the application is considered to accord with Core Strategy policy 20 in this respect.

Foul drainage



As this application falls outside the scale of development upon which the Environment Agency would wish to comment, the matter of foul drainage is to be considered by the LPA.

The proposed method of foul drainage for the development is through connection to a Package Treatment Plant. This would be located to the north of the walled garden and west of both the proposed conversion and new build. Planning Practice Guidance states that a connection to a public sewer is the most preferable foul drainage option, followed by a Package Treatment Plant. The applicant has confirmed that connection to the existing sewer network would not be feasible as the nearest connection is approximately 5km away in Wooler. Due to the distances involved it is accepted that connecting to the sewer network would not be feasible and as such the use of a Package Treatment Plan is considered to be acceptable. It is however considered appropriate to attach a condition to ensure that the package treatment plant is in place prior to first occupation of the holiday units.

Land Contamination

The application has been accompanied by a completed Contamination Assessment Screening form which does not identify any potential contamination issues. NCC Public Protection have been consulted but declined to provide comment as it is considered that the proposals fall below their current risk appetite. Given the form indicates no potential contamination on site the proposal would meet with Core Strategy Policy 3.

Renewable Energy Considerations

Core Strategy policy 25 requires development to minimise the amount of energy used during construction, achieve the highest energy efficiency through the location, orientation, layout, design and insulation of development, or provide a contribution of 10% of the energy requirements through renewable technologies in order to meet the aims of Policy 2, which aims to reduce emissions and energy during construction and help adaptation to climate change.

NPPF Paragraph 96 (Chapter 10) advises that local plan targets for decentralised energy supply should be met unless it can be demonstrated by the applicant, having regard to the type of development involved and its design, that this is not feasible or viable, also taking into account landform, layout, building orientation, massing and landscaping to minimise energy consumption.

No information has been provided to demonstrate how the proposed development would accord with Core Strategy policies 2 and 25 and NPPF Chapter 10 in respect of renewable energy and climate change, both in terms of the incorporation or renewable energy technologies as part of the proposed scheme or justification to demonstrate why the 10% requirement in policy 25 could not be achieved. Information has also not been provided to demonstrate how energy use would be reduced or how high energy efficiency would be achieved. It is therefore considered reasonable that a planning condition be included to allow these measures to be put forward, or for justification why they are not viable to be provided.

Highways



The proposals would make use of the existing access to the property. While it is intended to convert an existing double garage into a two bed holiday let, a new double garage would be located to the ground floor of the new build. The plans show the provision of two parking spaces for each of the new holiday lets and an area for secure cycle storage. NCC Highways have been consulted on the proposals and have raised no objection subject to appropriate conditions securing the parking spaces / cycle storage and ensuring no refuse is stored outside of the approved refuse storage area. Highways have also requested that a number of informatives be attached to any permission which may be granted.

Recommendation & Conditions

It is recommended that planning permission is granted, subject to the following conditions and informatives:

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form, received 11th December 2017;
- Location Plan, Site Plan existing, 17/1074 Drawing no: 001, received 11th December 2017;
- Existing floor plan and elevations, 17/1074 Drawing no: 002, received 11th December 2017;
- Proposed floor plan, 17/1074 Drawing no 003, received 11th December 2017;
- Site plan as proposed, 17/1074 Drawing no: 004; received 8th January 2018;
- Existing plan / elevation – store building, 17/1074 Drawing no: 005, received 11th December 2017;
- North-west elevation, 17/1074 Drawing 6ab, received 11th December 2017;
- Replacement garage store and holiday unit, 17/1074 6ab, received 11th December 2017;
- Contamination Assessment: Screening Assessment Form, received 9th January 2018;
- Foul Drainage Assessment Form, received 14th December 2017;
- The WPL Diamond Product Specification; received 11th December 2017
- Heritage Design and Access Statement, received 14th December 2017;
- BSG Ecology, Ecology Report '*Proposed Development at Kirknewton House, Kirknewton*'; received 8th January 2018;



Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies 1, 2, 3, 5, 7, 6, 12, 14, 15, 17, 18, 19, 20, 25 and 28 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF)

3. Prior to the commencement of development, a scheme for soft landscaping to the northern boundary with St Gregory's Church, to include details, including locations, species and specifications of all trees, shrubs and other soft landscaping on the site shall be submitted to, and approved in writing by, the Local Planning Authority. The soft landscaping shall be carried out in full accordance with the approved details in the first planting season following the commencement of the development. Any trees, shrubs or plants which die, or are otherwise removed, within a period of five years of the completion of the development shall be replaced in the next planting season with others of a similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: In the interests of protecting the visual character of the area and the special qualities of the National Park, in accordance with Core Strategy policies 1 and 3 and the NPPF.

4. Unless otherwise agreed in writing, the windows to be installed to the garage conversion shall be:
 - (1) Timber double hung sliding sash;
 - (2) Recessed by at least 100mm;
 - (3) Not include trickle vents

Reason: To ensure that the special interest and historic character and significance of the Kirknewton Conservation Area and setting of the listed building are maintained and to ensure the proposal accords with policies 1, 3 and 18 of the Core Strategy and NPPF.

5. Unless otherwise agreed in writing, the doors to be installed to the garage conversion shall be:
 - (1) Timber with a painted finish;
 - (2) Recessed by at least 100mm;

Reason: To ensure that the special interest and historic character and significance of the Kirknewton Conservation Area and setting of the listed building are maintained and to ensure the proposal accords with policies 1, 3 and 18 of the Core Strategy and NPPF.

6. The development hereby approved relates to the provision of short-term accommodation only and shall not be used at any time as permanent residential accommodation. Occupiers of the approved accommodation shall occupy this for holiday purposes only and shall not occupy this as their sole or main place of residence, or as a second home. The operators shall maintain an up-to-date register of the names of all occupiers of the holiday accommodation hereby approved and of their main home addresses and shall make this information available at all reasonable times to the Local Planning Authority



Reason: Because local needs restricted housing is not being provided as part of this development, as would otherwise be required for proposals for residential development by Core Strategy policy 10.

7. Prior to the commencement of the development, precise details of renewable energy measures for generating energy from decentralised renewable and/or low carbon sources (as defined in Annex 2 of the National Planning Policy Framework), or justification why it is not feasible or viable to provide these, shall be submitted to, and formally approved in writing by, the Local Planning Authority. The information submitted should establish accurate details of the predicted energy requirements for the development and demonstrate how the proposals will maximise the embedding of renewable and low carbon energy sources within the development. The approved renewable energy measures required for each dwelling shall be implemented in full before the first occupation of that dwelling.

Reason: To ensure that appropriate renewable energy and/or low carbon energy measures are included, in line with NNPA Core Strategy policies 1, 2 and 25 and Chapter 10 of the NPPF.

8. Any site clearance or ground disturbance should not be undertaken in the bird breeding season (March-August), unless a checking survey has first been undertaken by a suitably qualified ecologist and any birds that are found to be nesting being allowed to finish nesting before such work commences.

Reason: To ensure that ground nesting birds on the site are protected and for the development to accord with NNPA Core Strategy Policy 17 and Chapter 11 of the NPPF.

9. Prior to the occupation of the units hereby approved, the enhancement measures detailed within paragraph 4.12 of '*Proposed Development at Kirknewton House, Kirknewton Ecology Report*' shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

Reason: To deliver ecological enhancement and to accord with NNPA Core Strategy Policy 17 and Chapter 11 of the NPPF.

10. Prior to the fixing of any external lighting associated with the development, details of the external lighting shall be submitted to and agreed in writing with the Local Planning Authority. Details should include:

- The specific location of all external lighting units;
- Design of all lighting units;
- Details of beam orientation and lux levels; and
- Any proposed measures such as motion sensors and timers that will be used on lighting units.



The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such during the operation of the development, unless removed.

Reason: In order to ensure that there is no harmful impact upon the tranquility and intrinsically dark character of Northumberland National Park and the Northumberland International Dark Sky Park through excessive light pollution, in accordance with Policies 1 and 19 of the Core Strategy and paragraph 125 of the NPPF.

11. The development shall not be occupied until the car parking area indicated on the approved plans, has been implemented in accordance with the approved plans. Thereafter, the car parking area shall be retained in accordance with the approved plans and shall not be used for any purpose other than the parking of vehicles associated with the development.

Reason: In the interests of highway safety, in accordance with the National Planning Policy Framework and Core Strategy Policy 3.

12. No external refuse or refuse container shall be stored outside of the approved refuse storage area except on the day of refuse collection.

Reason: In the interests of amenity of the surrounding area and highway safety, in accordance with the National Planning Policy Framework and Core Strategy Policy 3.

13. The accommodation hereby approved shall not be occupied until it has been connected to the package treatment plant in accordance with the Foul Drainage Assessment Form.

Reason: To ensure that appropriate infrastructure is in place to protect local amenity the wellbeing of local communities and to ensure the proposal accords with Core Strategy Policy 3 and the NPPF.

Informative Notes

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
 - (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.



2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

3. For the avoidance of doubt, the holiday accommodation units hereby approved do not benefit from householder permitted development rights that are granted to residential properties under Schedule 2, Part 1 of the General Permitted Development Order 2015 (as amended).
4. Building materials or equipment shall not be stored on the highway unless otherwise agreed. You are advised to contact the Streetworks team on 0345 600 6400 for Skips and Container licences.
5. In accordance with the Highways Act 1980 mud, debris or rubbish shall not be deposited on the highway.

Background Papers

Application File 17NP0131
EIA Screening Opinion

	Signature	Date
Planning Officer	C Godfrey	20/02/2018
Head of Development Management	S Buylla	20/02/2018

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