



DELEGATED DECISION REPORT

Application Reference Number	17NP0132LBC
Description / Site Address	Listed Building Consent in respect of Change of use of double garage and store to holiday accommodation. Demolition of garage and rebuilding of double garage with holiday accommodation above at Kirknewton House, Kirknewton, Wooler, Northumberland, NE71 6XF
Expiry date of publicity / consultations	5 February 2018
Last date for decision	5 March 2018

Details of Proposal

This application seeks Listed Building Consent (LBC) for the i) conversion of an existing single storey double garage into holiday accommodation and ii) the demolition of an existing open fronted store. The replacement of this building with a two storey building to provide a double garage below and holiday accommodation above is included on the submitted plans but does not require LBC in itself.

The application site is within the curtilage of Kirknewton House, which is located towards the southwest of the Kirknewton Conservation Area. Kirknewton House is a Grade II Listed Building dating from 1830-1840 and is of roughcast painted render with ashlar dressings and a slate roof. Further listed buildings are located directly to the north (St Gregory's Church) and east (East Kirknewton Farm and West Kirknewton Farm).

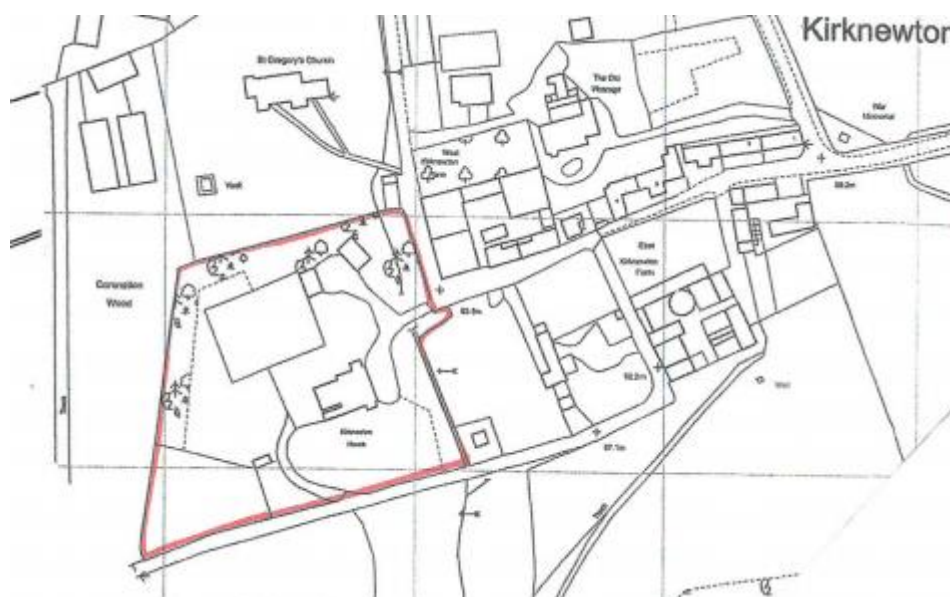


Figure 1: Site Location Plan

The garage to be converted is constructed from rendered stone with quoins and a Welsh slate roof. Existing windows and doors to the east elevation would be replaced with new timber frames. A new



timber panel door would be introduced to the north elevation and a timber casement window and timber panel door to the west elevation, both of which would be edged with quoins. All new windows and doors would be stained 'Wintery Tide' (bluey / green). The building would have a light grey steel flue and cast iron rainwater goods. No extensions are proposed as part of the conversion. Internally, the conversion would provide for two en-suite bedrooms with a shared living area, kitchen and utility room. The new door to the west elevation would lead to a small fenced garden area.



Figure 2: Garage Conversion - Existing and Proposed Elevations

The store to be demolished is constructed from corrugated iron with timber rails and posts. As noted, LBC would not be required for the replacement two storey building, this aspect of the proposal having been considered under planning ref 17NP0131.

Planning Policy & Guidance

National Policies

Planning (Listed Buildings and Conservation Areas) Act 1990

National Planning Policy Framework (NPPF) (2012)

National Planning Practice Guidance (2015)

Local Policies

Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)

- Policy 1 *Delivering Sustainable Development*
- Policy 3 *General Development Principles*
- Policy 17 *Biodiversity and Geodiversity*
- Policy 18 *Cultural Heritage*

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)



Relevant Planning History

- 00NP0015** Conversion of stables to garage and extension. *Conditional planning permission granted 19/05/2000*
- 00NP0037** Demolition of outbuilding and creation of a new access into garden, replacement window and re-roofing of existing outbuildings. *Application withdrawn.*
- 00NP0038LBC** Listed Building Consent in respect of demolition of outbuilding and creation of a new access into garden, replacement window and re-roofing of existing out buildings. *Consent granted conditionally 18/09/2000.*
- 17NP0132LBC** Listed Building Consent in respect of Change of use of double garage and store to holiday accommodation. Demolition of garage and rebuilding of double garage with holiday accommodation above. *Pending Consideration.*

Consultation / Representations

Kirknewton Parish Council: No response

NNPA Historic Buildings Advisor: No Objection: The proposed conversion of the existing garages to provide holiday accommodation appears acceptable. However, it is considered that the proposed windows should be timber double hung sliding sash to match the style of those of Kirknewton House, should be recessed into their openings by at least 100mm and should not include trickle vents. The doors should also be timber with a painted finish and recessed into their opening by at least 100mm. Any new rainwater goods should be cast iron with traditional spiked brackets.

There is no objection to the demolition of the existing 'garage' structure or to the erection of the new garage with accommodation above. However it is considered that additional tree planting be required as a condition in order to protect views from the church and churchyard.

In conclusion, the Building Conservation officer has no objection to these proposals subject to conditions regarding external materials, windows, door and rainwater goods in order to protect the character and appearance of the listed building and its attractive setting within landscaped grounds.

NNPA Historic Environment Officer: No Objection: I have read through the information supplied with the application and consulted the Historic Environment Record for verification and further information. In my view the nature of the proposals are unlikely to have a significant impact on archaeological deposits relating to the medieval and later settlement of Kirknewton. The extent of previous work in the area and the contained nature of the application support this view. As a result I have no objection to the proposal as presented.



NNPA Ecologist: No Objection. I have read the bat risk assessment that accompanies this application and no have objections on ecological grounds. I note that to give a net gain for biodiversity that the report suggests the erection of swegler bat boxes. This is a welcome addition, but is it something that you can condition? I also note that some leylandii trees are to be removed. In the heritage statement rhododendron is mentioned as a replacement; I do not think this would be something to encourage and native hardwoods may be more appropriate depending on how close to the churchyard wall they are to be planted. Perhaps a landscaping condition could be put on if permission is granted. If you wish to discuss this further I am happy to do so.

Public Consultation

The application was advertised by means of two neighbour notification letters issued on the 9th January 2018, a notice displayed on the site on 15th January 2018 and a notice within the local press on 12th January 2018. No comments have been received in response.

Assessment

The main issues to be taken into consideration in the assessment of this application are:

- The principle of the development;
- Impact upon the character of the listed building;
- Impact upon National Park special qualities;

The principle of the development

The National Planning Policy Framework (NPPF) is clear that a presumption in favour of sustainable development is at the heart of decision-taking. Policy 1 of the NNPA Core Strategy seeks to ensure that development proposals will conserve and enhance the special qualities of the National Park. These are defined within the Core Strategy as its biodiversity and geodiversity, cultural heritage, tranquillity and landscape character, and are specifically protected by policies 17-20. The proposed development as assessed below would not have an adverse impact on the Park's special qualities and thus meets the relevant criteria set out within policy 1.

Impact upon the character of the listed building

Policy context

Section 16 (2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires Local Planning Authorities to have special regard to the desirability of preserving a building or its setting or any features of special architectural or historic interest which is possesses.

The application is within the curtilage of a Listed Building and also in the Kirknewton Conservation Area and an area of archaeological sensitivity; accordingly the Authority's Historic Environment Officer and Historic Buildings Advisor have been consulted on the application.



Core Strategy Policy 18 states that the National Park Authority will support proposals which conserve, enhance and promoted the quality and integrity of the cultural heritage of the National Park. Section 12 of the NPPF seeks, amongst others, to ensure that heritage assets are identified and appropriately assessed when considering proposals; there is recognition that harm can be caused by development that affects the setting and significance of heritage assets and great weight is given to the conservation of heritage assets.

Assessment of proposals

The proposed conversion of the garage would not require any extensions and would largely make use of existing openings although a new window and door would be introduced to the west elevation to allow views / access to the walled garden. The store to be demolished is of little intrinsic value and does not make a positive contribution to the setting of the listed building. The Historic Buildings advisor has raised no objection to the proposals as it is not considered that the proposals would harm the setting of the listed building. However, conditions have been requested to ensure that the choice of materials, finish and installation of windows and doors protect the character and appearance of the listed building and its attractive setting within landscaped grounds. Subject to appropriate conditions it is considered that, the proposals would be in accordance with the requirements of Policy 18.

Impact upon National Park special qualities

Biodiversity

The impact of the proposed scheme upon the ecology and biodiversity of the National Park has been taken into consideration. The National Park Ecologist has been consulted and has raised no objection. The Ecology Report has however advised that site clearance should avoid the bird breeding season unless a suitably qualified ecologist has first checked for nesting birds and, if present, works are delayed until the young have fledged. The provision of bat boxes and nest boxes has also been proposed. The above will be secured through the inclusion of appropriate conditions.

It has however been noted that a number of leylandii located between the proposed two storey building and boundary with the churchyard are to be removed. While this is not of concern, rhododendron has been suggested as part of a replacement planting scheme with the ecologist favouring the use of native hardwoods. A condition has therefore been requested requiring the submission of a landscaping scheme to ensure the planting of an appropriate suite of species. As this condition has been included as a requirement of the full planning application (17NP0131), it is not considered necessary to also attach to the LBC.

Recommendation & Conditions

It is recommended that conditional Listed Building Consent is granted subject to the following conditions:

Conditions



1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form, received 11th December 2017;
- Location Plan, Site Plan existing, 17/1074 Drawing no: 001, received 11th December 2017;
- Existing floor plan and elevations, 17/1074 Drawing no: 002, received 11th December 2017;
- Proposed floor plan, 17/1074 Drawing no 003, received 11th December 2017;
- Site plan as proposed, 17/1074 Drawing no: 004; received 8th January 2018;
- Existing plan / elevation – store building, 17/1074 Drawing no: 005, received 11th December 2017;
- North-west elevation, 17/1074 Drawing 6ab, received 11th December 2017;
- Replacement garage store and holiday unit, 17/1074 6ab, received 11th December 2017;
- Contamination Assessment: Screening Assessment Form, received 9th January 2018;
- Foul Drainage Assessment Form, received 14th December 2017;
- Heritage Design and Access Statement, received 14th December 2017;
- BSG Ecology, Ecology Report 'Proposed Development at Kirknewton House, Kirknewton'; received 8th January 2018;

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies 1, 3, 17, 18, 19 and 20 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF)

3. Unless otherwise agreed in writing, the windows to be installed to the garage conversion shall be:

- Timber double hung sliding sash;
- Recessed by at least 100mm;
- Not include trickle vents

Reason: In order to preserve the visual appearance, character and amenity of the area, the listed building and the special qualities of the National Park, in accordance with Core Strategy policies 1, 3 and 18 and Chapter 6 of the NPPF.

4. Unless otherwise agreed in writing, the doors to be installed to the garage conversion shall be:



- Timber with a painted finish;
- Recessed by at least 100mm;

Reason: Reason: In order to preserve the visual appearance, character and amenity of the area, the listed building and the special qualities of the National Park, in accordance with Core Strategy policies 1, 3 and 18 and Chapter 6 of the NPPF.

5. Any site clearance or ground disturbance should not be undertaken in the bird breeding season (March-August), unless a checking survey has first been undertaken by a suitably qualified ecologist and any birds that are found to be nesting being allowed to finish nesting before such work commences.

Reason: To ensure that ground nesting birds on the site are protected and for the development to accord with NNPA Core Strategy Policy 17 and Chapter 11 of the NPPF.

6. Prior to the occupation of the units hereby approved, the enhancement measures detailed within paragraph 4.12 of 'Proposed Development at Kirknewton House, Kirknewton Ecology Report' shall be implemented in full unless otherwise agreed in writing with the Local Planning Authority.

Reason: To deliver ecological enhancement and to accord with NNPA Core Strategy Policy 17 and Chapter 11 of the NPPF

Informative Notes

1. This Listed Building Consent is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
 - (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This Listed Building Consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some



circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

Background Papers

Application File 17NP0132LBC
EIA Screening Opinion

	Signature	Date
Planning Officer	<u>C Godfrey</u>	<u>27/02/2018</u>
Head of Development Management	<u>S Buyla</u>	<u>27/02/2018</u>