

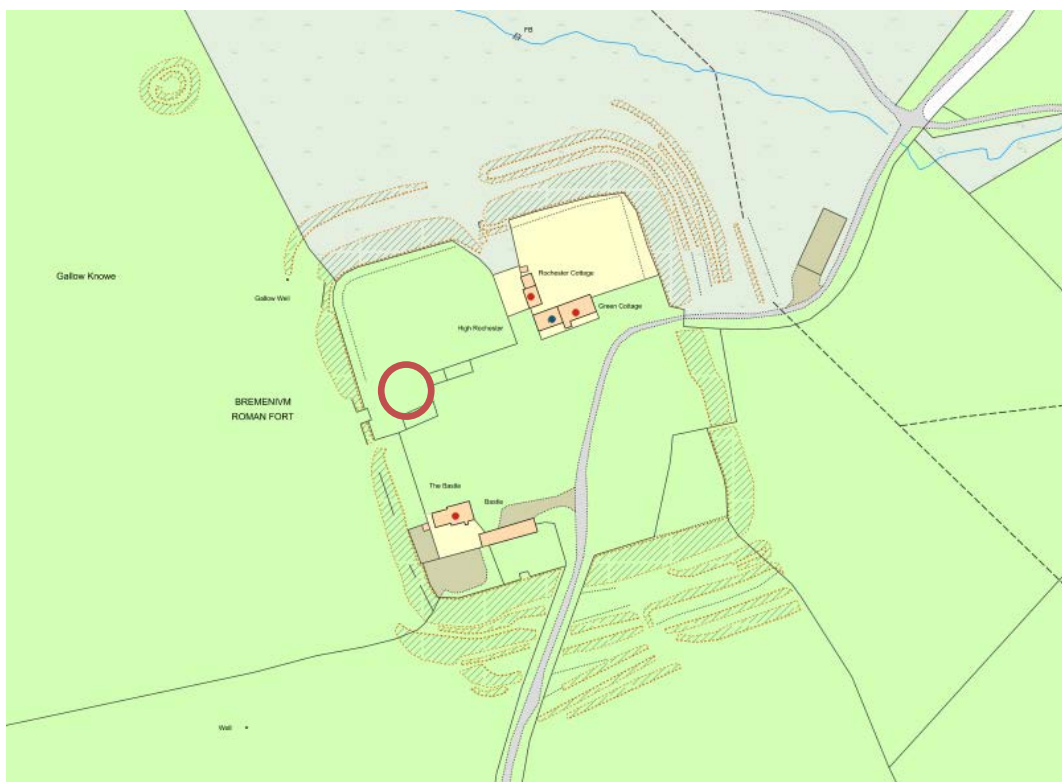


## DELEGATED DECISION REPORT

<b>Application Reference Number</b>	19NP0060
<b>Description / Site Address</b>	Construction of a timber shed for storage on hardstanding at Dykehead Farm, Rochester, Newcastle Upon Tyne, Northumberland, NE19 1RD
<b>Expiry date of publicity / consultations</b>	2 August 2019
<b>Last date for decision</b>	6 September 2019

### Details of Proposal

The application seeks approval for the construction of a timber shed and hardstand within an agricultural field for the purpose of storing equipment for an annual village show. The site which is part of Dykehead Farm is located within the North West section of Bremenium Roman Station, adjacent to the village green of High Rochester.



**Figure 1: Location of site**



Figure 2: looking east, towards fort from outside of its boundary



Figure 3: looking north from within the fort.



Figure 3: looking north towards fort from village green. Location site of shed is beyond trees.



Figure 4: looking north west towards southern boundary of fort from village green.



Bremenium Roman Station, a Scheduled Monument is a Roman fort that has undergone various restorations and rebuilds throughout the 2<sup>nd</sup>, 3<sup>rd</sup> and 4<sup>th</sup> Century. The station has a complex history of use and development. Despite the construction of later buildings, (The Bastle to the south western corner and Rochester Cottage, Rose Cottage and Green Cottage to the north eastern corner of the site), various stone walls, a road and various farm tracks, the monument survives in good condition, notably with standing walls and will contain archaeological and environmental evidence relating to the use and abandonment of the monument and its surrounding landscape.

Bremenium is also a Grade II Listed Building by virtue of the abundance of existing masonry work and intact architectural features.

The site is remote, located within the open countryside, approximately 500m from the village of Rochester and 46m north from the nearest dwelling, The Bastle a Grade II Listed Building. 50m to the east lies Rochester Cottage, Green Cottage and Rose Cottage, a Grade II Listed Building.

The application proposes the laying of a concrete plinth within the north west corner of the fort, onto which a timber storage shed would be located. The shed would measure 9.1m long, 6.5m deep and 3.1m high. It would be of timber, shiplap walls and box profile sheet metal roof painted green. There would be three large roof lights, a single small side window facing west and a door and large shutter door for accessing the stored materials.

There are no proposed services to the building. It is intended that the shed function as a store for equipment relating to the Rochester Village show which is held each September. The building would be access by an existing farm track which runs east-west across the village green into the field.

## **Planning Policy & Guidance**

### **National Policies**

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

### **Local Policies**

**Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)**



Policy 3	<i>General Development Principles</i>
Policy 5	<i>General Location of New Development</i>
Policy 17	<i>Biodiversity and Geodiversity</i>
Policy 18	<i>Cultural Heritage</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>

### **Supplementary Planning Guidance**

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)  
NNPA Landscape Supplementary Planning Document (Landscape SPD)

### **Relevant Planning History**

15NP0003EL - Notification under Electricity Act 1989 Overhead Lines (Exemption) regulations in respect of replacement and re-positioning of poles and installation of underground cable

### **Consultation/Representations**

**Historic England** – Subject to assurances from the applicant (received) that no underground services would be required for the development; it is considered there would be no harm to the fort as a result of the development, no objections.

**NCC Village Greens** – Comments confirm that the proposal crosses the village green and the landowner's permission is required (Rochester Parish Council).

**Historic Environment Officer** – Given the proposal is a no dig scheme, thus preventing damage to potential archaeology and the applicant recognises the significance of the fort, no objections.

**Historic Buildings Advisor** – Proposal would not cause any harm to the surrounding heritage assets.

**Access and Recreation Officer** – whilst Rochester public footpath 31 is in the vicinity, the proposal is not considered to cause detriment to access opportunities in the area. Whilst construction is ongoing, care should be given not to obstruct public use of the path without necessary legal order.

**Rochester Parish Council** - unanimous support for the application.



The application has been advertised by a site notice displayed on the 18<sup>th</sup> July 2019. 4 letters were sent out to neighbouring properties. No representations have been received in response.

## **Assessment**

Matters to be taken into consideration as part of this application are:

- The Principle of the Development
- Design, visual impact and amenity
- Impact upon National Park Special Qualities
- Highways
- Other

## **The Principle of the Development**

The National Planning Policy Frameworks (NPPF) emphasises a presumption in favour of sustainable development to steer decision making. Core Strategy Policy 1 looks to ensure that development proposals will conserve and enhance the special qualities of the National Park. The effects of the proposed scheme on these special qualities are discussed in detail in this report.

The application site is located with open countryside whereby Core Strategy policy 5 restricts development to the re-use of existing buildings, whereby new buildings are only permitted where they could not be located elsewhere and would not impact detrimentally upon the special qualities of the National Park.

The proposed shed is intended to exclusively service the Rochester village show which is itself, located within the confines of the Roman fort. The show which is held once a year requires its equipment to be stored away and this is currently done at the previous village show's location. The applicant has explained that the current storage facility is now 50 years old and is no longer fit for purpose.

The show organisers have a need for the easy handling of equipment and so they require it to be in close proximity to the show's location.

The proposed shed is considered to be ideally located for the purposes of the show. It is considered that locating the shed within the nearest local centre or smaller village such as Rochester would render the intended purpose of the shed impracticable.

*Part a(ii) of Policy 5 states that new buildings will only be permitted where it can be demonstrated that: it will provide opportunities for the public to understand and enjoy the special qualities, whilst not negatively impacting on them.*



As the shed will help facilitate a community event held within a scheduled monument, it is considered that the proposal will be in keeping with the aims of Policy 5 part a(ii) and will do so without negatively impacting on the special qualities of the park as discuss later in the report.

In this instance, the proposed siting of a storage shed on hardstanding within a field at Bremenium Roman Station would not result in harm to the special qualities of the National Park nor is it considered that it could be located elsewhere.

The principle of the development is therefore considered to be in accordance with Core Strategy Policy 5 and the NPPF.

### **Design, landscape and Amenity**

The NPPF highlights the importance of good design principle within planning. This is reflected in Core Strategy Policy 3 by supporting sustainable development proposals that conserve and enhance local character. This is set out further within the NNPA Design Guide SPD.

The proposed shed is of a very straightforward and functional design typical of its agricultural setting. There are no striking features and its appropriate materials are again, typical for its setting within farmland. This unambiguous design also allows the proposed shed to sit sympathetically in context with the surrounding remains of the Roman fort which will be discussed in greater detail later in the report. The shed would be appropriately located within a sheltered nook, created by a return in the existing dry stone wall which runs the length of the interior of the fort.

The land drops sharply from the fort's boundary by at least 1.8m, meaning that only the roof of the proposed shed would be visible from above the highest point of the fort's walls. A small grouping of mature deciduous trees sits adjacent to the proposal location of the shed, providing additional screening for part of the year.

Given the fortified nature of the station, the proposal's sympathetic scale, location, and the earthworks that surround the site, views of the shed would be restricted from outside of the fort, especially when the nearby trees are in leaf.

The shed would be visible from some views within the fort itself. Taking into account the variety of development that has arisen within the fort over the centuries, given the sensitive design, nature and location of the shed; it is not considered to look out of place in this multi-period landscape. Even so, its sensitive location, the lay of the land, the shed's dimensions would make it difficult to view from any nearby dwelling. The proposed frequency of use at the time of the show would also ensure that the proposal's effects on nearby dwellings



would be minimised and with no windows in facing elevations, the proposal raises no overlooking issues.

As discussed above, the shed would be used for the storage of equipment relating to the village show and as such, would be accessed only once a year. On this basis, it is not envisaged that the proposal would result in a significant increase in traffic into and out of the site. This is not only considered beneficial in terms of preserving archaeological remains but also from a residential amenity perspective. A shed in this location, accessed on a regular basis would be considered too intensive.

To ensure the proposed frequency of access is observed, a condition restricting the use of the building to storage in relation to the local village show only has been recommended as part of any approval for planning permission.

It is not considered that there would be a detrimental impact to the visual/ residential amenity of nearby dwellings or the landscape character of the area. It is therefore considered that the proposal accords with Core Strategy Policy 3 and 20 in this regard.

The Authority's Access and Recreation Officer was consulted on the application who explained that the proposal would not be detrimental to access opportunities in the area. Advising that whilst construction is ongoing, care should be given not to obstruct public use of the path without a necessary legal order. As such, an informative highlighting this requirement has been recommended as part of any approval.

## **Impact upon National Park Special Qualities**

### ***Biodiversity and Geodiversity***

No implications relating to biodiversity or geodiversity have been identified as part of the application. Although not formally consulted, the National Park's Ecologist passed comments on the application as follows; due to the small size of the development, it being laid on a concrete plinth and there being no trees affected, no further comments.

### ***Cultural Heritage***

Core Strategy Policy 18 seeks to support proposals which conserve and enhance the quality and integrity of cultural assets with the park.

As mentioned above, the site in which the shed is proposed is a Scheduled Monument, the most significant of designation for a cultural asset. Paragraph 193 of the NPPF advises that '*When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be)*'.





The Historic Environment Officer was consulted on the application, stating that Bremenium is a significant asset in heritage terms. Excavation confirms that the remains have been well preserved, despite almost continuous occupation of the site which continues today. The proposal site is unexplored and located immediately adjacent to now ruined cottages and gardens.

It is welcomed therefore that the proposal is a no dig scheme which will not impact upon below ground remains. The proposal appears in keeping with the setting of the fort and given the unusual nature of the area, various residential and amenity spaces, the applicant recognises the significance of the fort and as such, the Historic Environment Officer has no objections to the scheme.

The Historic Buildings Advisor was consulted with respect to the Monument also being a Listed Building, and advised that they consider no harm would come to the surrounding cultural assets as a result of the proposal.

Historic England's Inspector of Ancient Monuments was consulted, stating that the site is of exceptional archaeological significance and the proposed plinth on which the shed would be located would clearly avoid any direct impact on the archaeological remains present within the fort.

The Inspector goes on to say that it would be desirable to have confirmation that no underground services would be required for the development. This has been clarified as the case by the agent.

It is further mentioned that the proposal would undoubtedly be visible from within some parts of the fort and add further to the built element of the landscape. However, it is Historic England's view that it would not harm the setting of the scheduled site.

The Inspector highlights the various structures that have been built upon the fort already, the cottages, The Bastle and field walls, all adding to a strong visual character that creates a very harmonious landscape in which the Roman element is strongly represented but one that reflects the post-Roman to modern period. Mainly hidden within a field by the existing dry stone wall and trees, it would blend in well with its surrounds and be read as a part of the later history of the site.

Although visible from some parts inside and outside of the fort, the Inspector does not consider that the proposal would harm the ability to understand the Roman land use. The partial screening of the proposal would mean that the shed would blend with its surroundings and as such the Inspector does not believe the proposal would cause harm to the setting of the scheduled fort. Historic England has no objection to the application.



To further ensure the protection of the Scheduled Monument and to ensure acceptable levels of residential amenity, a condition for the removal of the shed after 12 months of abandonment of its use as storage relating to the village show has been recommended as part of any approval for planning permission.

Taking into consideration all of the above, it is considered the proposal is in accordance with Policy 18.

### ***Tranquillity***

The proposed level of traffic, being limited to once a year at show time is considered minimal enough to not cause harm to the tranquillity of the park nor is it considered that the low intensity of use would cause a detrimental level of noise.

The application site is located within the Northumberland International Dark Sky Park and as such, consideration must be given to any proposed lighting. While the application does not indicate any external lightening is to be installed as part of the proposal, as the proposal is within the Dark Sky Park, such a condition restricting the installation of external lighting to the site is considered appropriate in this instance. Subject to an appropriate condition, the proposal is considered to be in accordance with Core Strategy Policy 19.

### ***Highways***

The proposal intends to use an existing farm track to access the site. Running west-east, through the centre of the fort, the established track is regularly used by farm vehicles to access the field within the fort and the surrounding farmland and beyond. The track also crosses a public right of way that runs through the site. As discussed earlier in the report, the Access and Recreation Officer was consulted, who raised no objections to the proposal, subject to an informative.

Given the anticipated level of traffic to and from the site will be limited to once a year, it is not considered the increase in traffic would be significant enough to have a detrimental effect of highway safety or the rights of way network. It is therefore considered to be in accordance with Part c of Policy 3.

### ***Other***

It has been confirmed by Legal Services at Northumberland County Council that permission to cross the village green would require the permission of the land owner (Rochester Parish Council), as such an informative explaining this has been recommended as part of any approval.



## **Recommendation & Conditions**

Grant conditional permission subject to the following conditions :

1.The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004)

2. The development hereby permitted shall be maintained in accordance with the following approved plans and documents:

- Application form, received 11<sup>th</sup> July 2019
- Design and Access Statement, received 11<sup>th</sup> July 2019
- Location plan received 11<sup>th</sup> July 2019
- Block Plan received 11<sup>th</sup> July 2019
- Plans and elevations received 21<sup>st</sup> June 2019
- Heritage Statement received 11<sup>th</sup> July 2019
- Email regarding services to the shed dated 2nd August 2019

Reason: For the avoidance of doubt, to enable the Local Planning Authority to adequately manage the development and to ensure the proposal accords with policies 1, 3, 5, 17, 18, 19 and 20 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF).

3. Prior to the fixing of any external lighting associated with the development, details of the external lighting shall be submitted to and agreed in writing with the Local Planning Authority. Details should include:

- The specific location of all external lighting units;
- Design of all lighting units;
- Details of beam orientation and lux levels; and
- Any proposed measures such as motion sensors and timers that will be used on lighting units.

The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such during the operation of the development, unless removed.



Reason: In order to ensure that there is no harmful impact upon the tranquillity and intrinsically dark character of Northumberland National Park and the Northumberland International Dark Sky Park through excessive light pollution, in accordance with Policies 1 and 19 of the Core Strategy and paragraph 180 of the NPPF.

4. Should the shed and hardstand hereby approved no longer be required for the storage of materials in relation to the Rochester Village Show, the building and hardstand shall be removed from the site within 12 months of the last operation of the building for that use.

Reason: In the interests of affording adequate protection to the residential amenity of the occupiers of existing neighbouring properties and the cultural heritage of the Scheduled Monument in accordance with Policy 3 and 18 of the Core Strategy.

5. The shed hereby approved shall not be used other than for storage in relation to the Rochester Village Show without the prior grant of planning permission from the Local Planning Authority. There shall be no outside storage associated with the building.

Reason: In the interests of affording adequate protection to the residential amenity of the occupiers of existing neighbouring properties and the cultural heritage of the Scheduled Monument in accordance with Policy 3 and 18 of the Core Strategy.

6. For the avoidance of doubt, the concrete plinth shall be laid on top of the ground surface and there shall be no dig, including services to the hereby approved shed.

Reason: In the interests of affording adequate protection to the cultural heritage of the Scheduled Monument, specifically the preservation of archeological remains, in accordance with Policy 18 of the Core Strategy.

7. Should the shed hereby permitted be reroofed, treated, painted or stained, the colour shall be restricted to dark brown or natural shades of dark green, unless otherwise first agreed in writing by the Local Planning Authority.

Reason: In the interests of the character of the scheduled monument and special qualities of the National Park, in accordance with Core Strategy policies 1, 3 and 18 and the NPPF

### **Informative Notes**

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:



- a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
- b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development. Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.
3. Rochester public footpath 31 is in proximity of the application site. Whilst any construction works are ongoing, care should be taken to not obstruct access to this right of way or in any way prevent or deter public use of the path without the necessary legal diversion or closure order having been made.
4. Access over Rochester Village Green to the site requires permission from the land owner (Rochester Parish Council). They should be approached for permission in the first instance and as a precaution; Northumberland County Council should be notified.

### **Background Papers**

Application 19NP0060

	<b>Signature</b>	<b>Date</b>
<b>Planning Officer</b>	<a href="#"><u>J Smith</u></a>	<a href="#"><u>03/09/19</u></a>
<b>Head of Development Management</b>	<a href="#"><u>S Buylla</u></a>	<a href="#"><u>03/09/19</u></a>