

DELEGATED DECISION REPORT

Application Reference Number	19NP0113
Description / Site Address	Conversion of existing stone barn and timber barn to 1 no. two bedroom holiday let at Field House, Stannersburn, Hexham, Northumberland, NE48 1DD
Expiry date of publicity / consultations	26 February 2020
Last date for decision	31 March 2020

Details of Proposal

The application seeks permission for the conversion of an existing stone barn and timber barn to provide 1 no. two bedroom holiday let at Field House, Stannersburn. The property is located within the Local Centre of Stannersburn



Fig 1: Location plan



The application site comprises of a complex of farm buildings immediately to the north east of Field House, a residential property occupied by the applicant. To the south east and west lie a number of dwellings, including paddocks associated with the farm buildings. To the north lies a public highway and further north, a large field in the applicant's ownership. The buildings are separated from Field House by a small courtyard and are accessed by a shared driveway used by Field House.

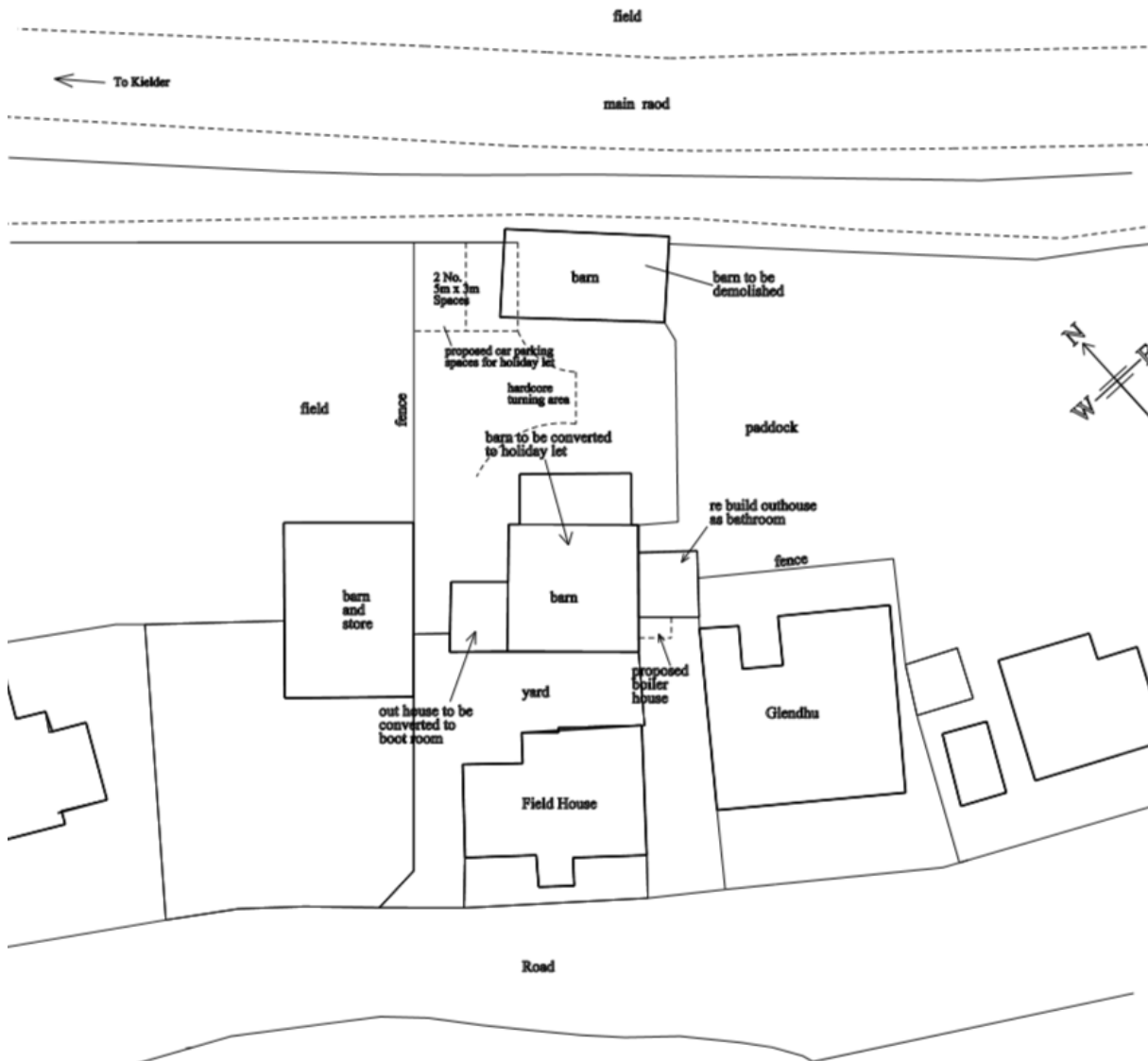


Fig 2 existing site plan showing proposed parking and turning head.

The buildings comprise a stone barn with timber offshoot and two small lean-to buildings, one to each side. Two smaller timber barns are located to the north across a second yard. A detached stone barn/store in the ownership of the applicant is located immediately west of the site. Most buildings are roofed in metal sheeting except the roof of the largest barn which is slated on its south west facing elevation.



It is proposed to convert the stone barn into a two-bedroom holiday let with kitchen, dining, living area, bathroom and boot room. All elements of the proposal would be single-storey. The barn would see the removal of its timber offshoot and replaced with a modern timber extension to provide access to a terrace and steps down to a proposed parking/ turning area and lawn. The timber barns to the north would be demolished with the inclusion of a small boiler room with louvered door to the east facing elevation. This element would be constructed in stonework and slate to match the existing building.

Where the roof is finished in metal sheeting, it is proposed to replace with slate to match the existing roofing of the largest barn. The existing timber offshoot measuring 3.2m deep would be replaced by a 1.75m deep composite board/timber clad extension. This would face north, mostly full height glazed on its north and west facing sides. No fenestration is proposed on the adjoining boundary. Beyond this, the proposed bathroom would have a single window facing north. A terrace access from the extension via patio doors, measuring 1.5m deep, with a balustrade of laminated glass would lead via steps to the parking and turning head for the site. The proposed boot room on the western elevation would be fitted with a timber door and small window facing south into the shared yard. Both bedrooms would be located to the south of the barn with two small windows facing south onto the shared yard, looking onto the kitchen of Field House. Windows would be UPVC in a mock sliding sash style.

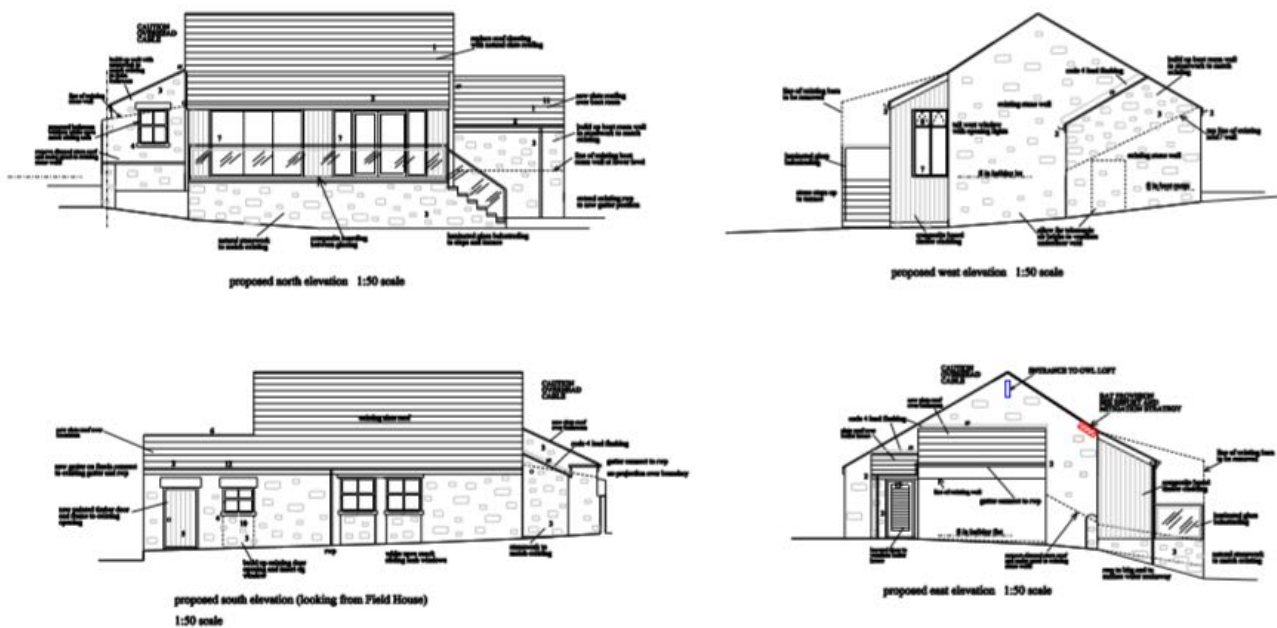


Fig 3 Proposed elevations

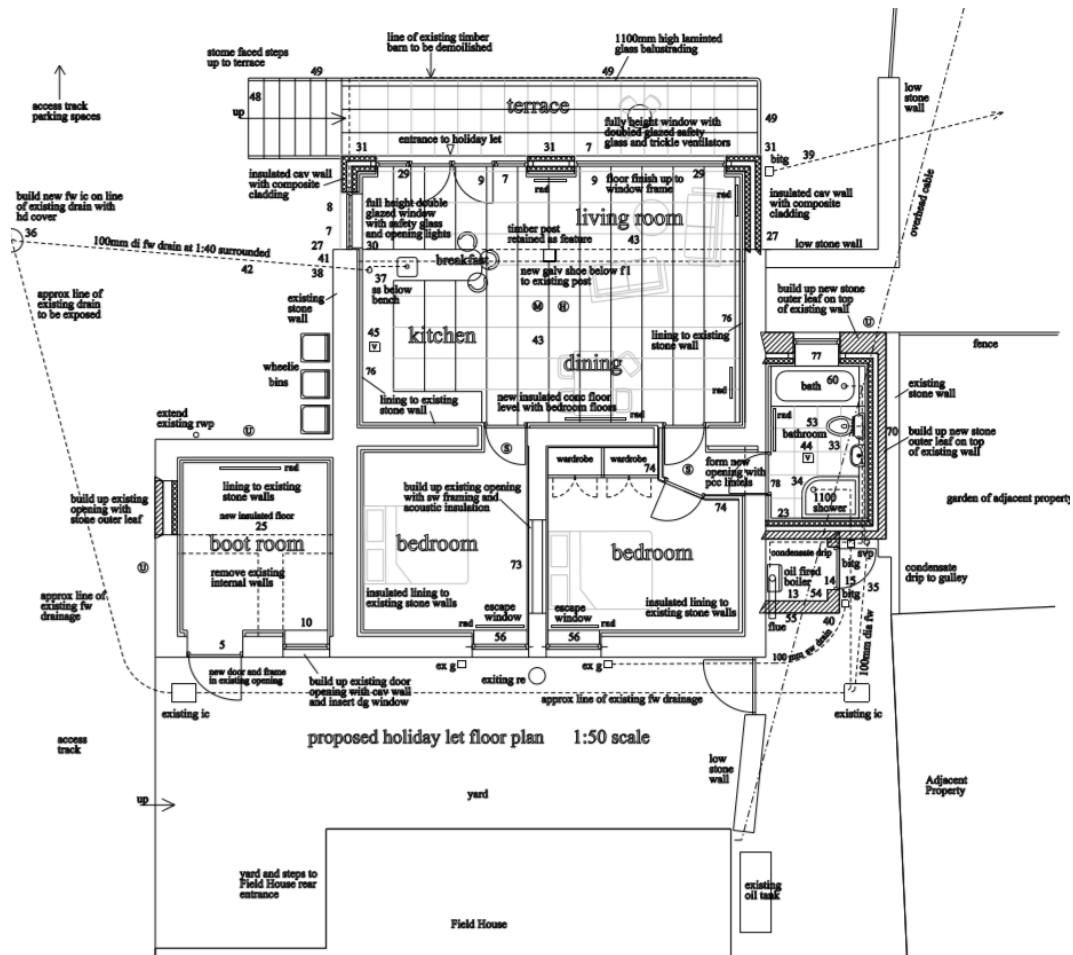


Fig 4 proposed plan



Fig 5 Looking towards proposed parking and access



Fig 6 Looking east towards Field House and barn



Fig 7 Field house kitchen to right, barn to left



Fig 8 proposed boot room and barn



Fig 9 timber barns to be demolished



Fig 10 Timber barn to be replaced with extension and terrace



Fig 11 looking west to associated field



Fig 12 proposed lean to bathroom

Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)



National Planning Practice Guidance

Local Policies

Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)

Policy 1	<i>Delivering Sustainable Development</i>
Policy 3	<i>General Development Principles</i>
Policy 5	<i>General Location of New Development</i>
Policy 7	Conversion of buildings outside settlements
Policy 10	<i>New Housing Development</i>
Policy 14	<i>A Sustainable Local Economy</i>
Policy 15	<i>Sustainable Tourism & Recreation Development</i>
Policy 17	<i>Biodiversity and Geodiversity</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>
Policy 25	<i>Renewable Energy and Energy Efficiency</i>

Northumberland National Park Local Plan 2017-2037 Publication Draft Plan

Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy DM6	Conversion of Buildings
Policy DM7	<i>Rural Economy and Diversification</i>
Policy DM10	<i>Habitats, Biodiversity and Geodiversity</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Night Skies</i>
Policy DM13	<i>Renewable Energy</i>

The NNPLP has been submitted to the Secretary of State for examination. The Inspector has agreed Main Modifications that he considers will make the plan sound and there is currently an ongoing consultation on these modifications. As some policies within the NNPLP are currently under consultation, it is considered they can currently be afforded little weight. However, it is anticipated that Local Plan Policies DM7, DM11 and DM13 will not be altered and are relevant to the current application, as such can be given more weight. It is however the view of the LPA that consideration of the policies within the NNPLP would not materially alter the assessment of the proposals as undertaken below.

Paragraph 213 of the NPPF advises that weight should be given to relevant policies in existing plans according to the degree of consistency with the NPPF i.e. the closer a policy in a local plan accords with the NPPF, the greater the weight that may be given to them. The adopted development plan is the Northumberland National Park Core Strategy (2009)



and the policies within the Core Strategy are considered to be in accordance with the NPPF and can therefore be given due weight.

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)
NNPA Landscape Supplementary Planning Document (Landscape SPD)

Consultation/Representations

NCC Highways – proposal acceptable subject to condition

Falstone Parish Council – No comments received

Development Management – No objection

NNPA Ecologist – Methodology, timing and class licence for works as suggested in ecology report is considered acceptable subject to conditioning mediation. The fulfilment of the proposed owl access should be condition and any new overhead cables should be attached so as to unhinder barn owl access to the building.

NCC Public Protection – no comments received

The application has been advertised by a site notice displayed on the 10th February 2020. 7 neighbouring properties were consulted. One anonymous voicemail was received which confirmed the caller had no objections to the application but wished to highlight the presence of a breeding Barn Owl nesting in the timber barn and asked that its protection be taken into account.

Assessment

Matters to be taken into consideration:

- The principle of the development
- Design, visual impact and amenity
- Impact upon the National Park Special Qualities
- Highway safety, parking and access
- Surface water and foul drainage
- Renewable Energy

The Principle of Development



The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy 1 of the NNPA Core Strategy seeks to ensure that development proposals will conserve or enhance the special qualities of the National Park. The effects of the proposed scheme on these qualities are discussed in more detail later in this report.

Policy ST1 of the emerging NNPLP places a similar emphasis on sustainable development which furthers the statutory National Park purposes and duty. It is considered that the proposal is in accordance with Policy ST1, however little weight can be given to this policy at this time.

Location of New Development

The site is situated within the Local Centre of Stannersburn. Policy 5 of the Core Strategy states that Local Centres such as Stannersburn will be the focus for new local needs development. As such, it is considered that the proposal accords with Policy 5 in principle.

A similar approach to the location of new development is taken by policy ST4 of the emerging NNPLP although little weight can be given to this policy at the current time.

The proposal relates to the provision of tourist/holiday accommodation only. Therefore it is considered that any planning approval be subject to a condition restricting the occupancy of the proposed accommodation to holiday use only, as permanent residential accommodation in this location would require a Local Needs restriction in accordance with Core Strategy Policy 10.

Employment/ Tourism

The NPPF supports economic growth within rural areas. Paragraph 83 sets out guidance on how planning policy and decisions should enable the following:

- the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings.
- the development and diversification of agricultural and other land-based rural businesses.
- sustainable rural tourism and leisure developments which respect the character of the countryside.

Policy 14 of the Core Strategy support proposals for businesses which enable:

- The creation of new business which relate to the special qualities of the National Park but to not negatively impact upon them.



- Home based employment activities which do not adversely affect neighbours and neighbouring land use.

Policy 15 of the Core Strategy supports proposal for sustainable tourism development which:

- Maximise opportunities for visitors to increase their understanding and enjoyment of the special qualities of the National Park whilst not adversely impacting on them
- Reuse buildings to provide self-catering barn accommodation.

Policy DM7 of the emerging NNPLP echoes CS Policy 14 and 15 in seeking to support sustainable growth of business in rural areas.

Policy DM6 of the emerging NNPLP relates to the conversion of buildings and states '*Proposals for the conversion of buildings within the settlements identified by Policy ST4 will be permitted*', Stannersburn being identified within Policy ST4.

Having regard for the information submitted to support the application which explains that the site is well located within the village of Stannersburn and close to facilities, the nature of the scheme as a conversion of an existing building, it is considered that the proposal would accord with the requirements of Core Strategy Policies 5, 14, 15, Policy DM7 and DM6 of the emerging NNPLP and the NPPF subject to consideration to the impact upon the special qualities of the National Park.

Design, visual impact and amenity

Policy 3 of the Core Strategy seeks to ensure that new development is sustainable, allowing development when:

- The special qualities of the National Park will be conserved or enhanced.
- The proposal demonstrates high quality design, whereby it is of appropriate materials suitable for the site and setting and is sympathetic to existing buildings.

The proposal relates to the conversion of an existing building. On the elevation facing Field House, minimal changes are proposed, 3 windows, a door and a small, subservient boiler room will be added. A sympathetic and subordinate extension is proposed to the northern elevation which would be no bigger in volume than the structure it would replace. The decision to replace the steel sheet roofing with slate to match the existing roof slate is welcomed and is considered to improve the overall look of the building. Whilst non-traditional and modern, the proposed UPVC windows and composite/timber cladding is considered in keeping with neighbouring properties and so is appropriate to the site and its setting.



Fig 13 Streetscene from road, demonstrating prevalence of modern non-traditional building materials.

The proposed holiday accommodation is sited in close proximity to the owner/operator's dwelling, Field House. The proposed scheme would see both proposed bedrooms looking upwards, towards the kitchen of Field House. Field House sits higher than the barn with a raised ground floor and relatively high windows, so significantly reducing the ability to overlook or be overlooked. Given this is a proposal for holiday accommodation it is also anticipated that visitors to the barn would spend most of their time located within the living area or on the terrace, out of view from Field House. The location of the proposed windows and the overall layout/ location of the scheme are such that it would impossible to view any neighbouring property's rooms. Namely Glendhu to the south east and West View to the north west. As a result of the above, it is not considered that the proposal would give rise to an unacceptable loss of privacy or overlooking.



Fig 13 raised ground floor of Field House kitchen

Given the proposal would see no extension towards Field House or neighbouring properties, there would be no increase in overshadowing or loss of light. The provision of two dedicated parking spaces to the rear of the property should also ensure that there would be no impact upon parking or access arrangements for Field House. Additionally, Field House has access/ ownership of land surrounding the proposal, affording the property sufficient parking.



The proposal would generate a small increase in traffic to and from the site. However given the nature of the proposal and the number of bedrooms proposed, it is not anticipated that any additional impact upon neighbouring properties through increased noise/ movement would be of a magnitude which would warrant refusal of the application.

Taking into account the above information, it is considered that the proposal is a well-designed scheme, carefully integrated with the existing built form. Whilst the proposal is close to the rear of Field House, this is the applicant's property and so has decided that the close relationship is acceptable to them. The proposal would not result in an unacceptable loss of amenity, particularly through negative visual impact, overlooking or overshadowing. The proposal is therefore in accordance with Core Strategy Policy 3 in this regard.

Impact upon the National Park Special Qualities

Ecology

Policy 17 of the Core Strategy encourages proposals which do not adversely affect the biodiversity of the Park. Part a. supports those proposals that protect and enhance priority species and habitats. The Ecological Survey/ Bat Report that was submitted as part of the application identifies evidence of protected species living within the barn and it is noted that as a part of the proposal a small pipistrelle bat roost (1-3 bats) would be destroyed. Therefore careful consideration of the proposal's effects upon the ecology of the Park must be given.

The mitigation and compensation listed in the report includes the erection of a bat box prior to work commencing, incorporation of a bat crevice in the renovated building, timing restrictions avoiding the hibernation period and cold weather for removal of the roof, plus working methodologies.

The NNPA Ecologist was consulted on the application who advised that the mitigation, methodology and timing proposal should be sufficient and that the bat boxes and crevice proposed would be suitable replacements for those that would be lost. The consulting Officer has also confirmed the class licence applied for by the applicant is appropriate as the proposals are unlikely to detrimentally affect the conservation status of the bat species present on site.

It is also noted within the Ecological Survey that a barn owl is nesting within the buildings in a barn owl box. The NNPA Ecologist has recommended therefore that because there is potential for the disturbance of a Schedule 1 (WCA) species, there should be checks performed in the spring with no work taking place during the nesting period if barn owls are present.



The NNPA Ecologist has noted the location of overhead cables in the vicinity of the proposed barn owl access in the south east facing gable of the barn and has requested a condition be attached as part of any application to ensure that the barn owl entrance be free of obstruction including but not limited to overhead cables to allow barns owls safe ingress and egress from the aforementioned entrance.

The NNPA Ecologist has requested that the mitigation recommendations that are included within the Ecological Survey/ Bat Report are conditioned as part of any application.

Subject to the above conditions, the proposal is considered to accord with the requirements of Core Strategy Policy 17.

Tranquillity

Policy 19 of the Core Strategy supports proposals that conserve or enhance the tranquillity of the National Park. In order to determine the extent to which tranquillity is affected there will be an assessment of the impact of the proposal upon noise, traffic and level of light generated as a result of the proposal.

Policy DM11 of the emerging NNPLP echoes CS Policy 19 by supporting proposals that conserve or enhance the tranquillity and pristine dark skies of the National Park.

As discussed earlier in the report, the proposal would generate a small increase in traffic to and from the site. However given the nature of the proposal, its location within a Local centre and the number of bedrooms proposed, it is not anticipated that any additional increased in noise/ traffic would cause detriment to the tranquillity of the surrounding area.

The proposal lies within the E0-50 Envio-Zone of the Northumberland International Dark Skies Park which, according to the Northumberland National Park *Outside Lighting Guide* requires new outside lighting to be fully shielded with (ideally) an output less than 600 lumens.

The application includes the specification for proposed outdoor lighting which includes a total of 6 downlights. Three to the north elevation, 2 on the west and 1 on the southern elevation. The units are fully shielded and down facing, they are rated at 1.5w, 3000k warm white with 100 lumen output, fulfilling the requirements of the *Outside Lighting Guide*. To ensure any future lighting over and above that included within the application is Dark Skies complaint, a condition restricting the installation of any additional external lighting to the site has been recommended as part of any approval.

Subject to the above condition, the proposal is considered to accord with the requirements of Core Strategy Policy 19 and Policy DM11 of the emerging NNPLP.



Landscape

Policy 20 of the Core Strategy seeks to ensure proposals will conserve and enhance the beauty and heritage of the National Park while being responsive to landscape change.

Policy DM11 of the emerging NNPLP echoes CS Policy 20 by ensuring that the natural beauty and heritage of the National Park are conserved and enhanced whilst being responsive to landscape change.

The proposal's north east facing elevation (living room, kitchen and terrace) would be visible from the nearby highway looking south. The site forms part of an established Local Centre and is bordered on two sides by residential buildings and related outhouses. It is proposed to demolish the existing timber barn which sits close to the road and replace a timber offshoot with a similar but smaller modern extension. It is considered therefore that by reducing clutter within the site, and replacing a structure with a similar but smaller one, the proposal results in a scheme of reduced massing and scale, leading to a reduction in any negative impact upon the landscape character of the area, in accordance with Core Strategy Policy 20 and Policy DM11 of the emerging NNPLP.



Fig 14 showing site from highway

Other special qualities

Given the proposal does not fall within or near to an area of historic importance, the proposal would not have a detrimental impact upon the cultural heritage of the Park.

Highway safety, parking and access

Part c of Policy 3 states that 'All new development, activities, and uses of land within Northumberland National Park must uphold and promote the principles of sustainable development; new development will be permitted when: the development will not have any detrimental effects on highway safety or the rights of way network'.



The proposal indicates that two dedicated parking spaces and turning area will be located to the north of the site to serve the accommodation. NCC Highways have been consulted on the application who have raised no objections to the proposal subject to the imposition of conditions to ensure the acceptability of the proposal.

NCC Highways have advised that a construction method statement should be submitted prior to the start of works. However, given the relatively minor nature of the proposal and the abundance of off highway land for storage it is not considered proportionate for such a requirement. NCC Highways have mentioned that the proposed car parking and manoeuvring space proposed is acceptable.

NCC Highways have requested details showing appropriate bin storage be shown within the curtilage of the site. This has already been submitted as part of the original application and it is considered the shown location of the bin storage is sufficient and appropriately located within the proposal's curtilage. It is considered therefore that no additional information is required.

NCC Highways have requested that a condition is attached to any permission requiring that the development shall not be occupied until the car parking area proposed has been implemented in the interests of highway safety. As such, a condition is recommended as part of any approval.

As there is insufficient detail within the application for NCC Highways to make a full assessment of the proposed vehicular access, the consulting Officer has requested these details be submitted via a condition. As such, a condition is recommended as part of any approval.

NCC Highways have confirmed that the existing vehicular access will require upgrading to Northumberland County Council Type 'A' access specification with the first five metres of the access hard surfaced. An informative highlighting a requirement for a S184 with the NCC Highways Department is recommended as part of any approval.

Standard informatives have been recommended by NCC Highways relating to the need to prevent storage of materials within the highway and depositing mud/ debris/ rubbish on the highway. It is recommended these informatives are attached to any approval.

Subject to the above conditions, the proposal is considered to accord with the requirements of Core Strategy Policy 3 in regard to Highways matters.

Renewable Energy



Policy 25 requires all new developments, including conversions, to minimise the amount of energy used during construction, achieve high energy efficiency, and utilise renewable energy sources in order to offset at least 10% of the predicted energy requirements of the development.

The proposal has been designed to utilise the existing built form with minimal intervention, reducing construction energy significantly. Modern and efficient building materials have been chosen and where possible, materials are being replaced with more suitable alternatives.

The proposed scheme does not incorporate the installation of renewables; whilst policy 25 stipulates that this is a requirement for all new development, on balance, considering the nature of the proposal, as holiday accommodation which is likely to incur less energy usage levels than a permanent residential dwelling, it is not considered reasonable to require the applicant to provide renewable energy technology in this instance.

Utilities and Infrastructure

Planning Practice Guidance states that connection to a public sewer is the favoured option for dealing with foul drainage.

The property benefits from a mains drainage connection and so no on site measures for collection, treatment and storage of sewage is required. Water is provided through a mains connection also.

The development is therefore considered to be acceptable in terms of foul drainage, in accordance with Core Strategy Policy 28.

Recommendation & Conditions

Grant conditional permission subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:



- Planning Application Form received 13th Dec 2019
- Lighting specification received 24th Jan 2020
- Proposed elevations received 13th Dec 2019
- Land ownership plan received 4th Feb 2020
- Existing and site plan received 13th Dec 2019
- Proposed sections received 13th Dec 2019
- Proposed floor plan received 13th Dec 2019
- Ruth Hadden Field House Ecology and Bat Report – Summer 2019 received 13th Dec 2019
- Roof plan and mitigation strategy received 13th Dec 2019
- Design and Access Statement received 13th Dec 2019
- Heritage Statement received 13th Dec 2019
- Location plan received 13th Dec 2019
- Arc Environmental Phase 1 desktop study received 31st Jan 2020

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies 1, 3, 5, 10, 14, 15, 17, 19, 20 and 25 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF).

3. Prior to the installation of the roofing and construction of extension to the holiday accommodation building hereby approved, samples and details of the following external facing materials shall be submitted to and approved in writing by the local planning authority:

- Natural slate roofing tile
- Timber cladding

The development shall be constructed in accordance with the approved details.

Reason: In order to preserve the visual appearance and amenity of the area, and the special qualities of the National Park, in accordance with Core Strategy policies 1 and 3 and the National Planning Policy Framework (NPPF).

4. The development hereby approved relates to the provision of short-term accommodation only and shall not be used at any time as permanent residential accommodation. Occupiers of the approved accommodation shall occupy this for holiday purposes only and shall not occupy this as their sole or main place of residence, or as a second home. The operators shall maintain an up-to-date register of the names of all occupiers of the holiday accommodation hereby



approved and of their main home addresses and shall make this information available at all reasonable times to the Local Planning Authority.

Reason: To ensure that the development hereby permitted is used for holiday accommodation only and to control the occupancy. Furthermore local needs housing is not being provided as part of this development in accordance with Core Strategy policy 10.

5. Prior to the fixing of any external lighting associated with the development not already detailed within the hereby approved Lighting Specification received 24th Jan 2020, details of the external lighting shall be submitted to and agreed in writing with the Local Planning Authority.

Details should include:

- The specific location of all external lighting units;
- Design of all lighting units;
- Details of beam orientation and lux levels; and
- Any proposed measures such as motion sensors and timers that will be used on lighting units.

The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such during the operation of the development, unless removed.

Reason: In order to ensure that there is no harmful impact upon the tranquillity and intrinsically dark character of Northumberland National Park and the Northumberland International Dark Sky Park through excessive light pollution, in accordance with Policies 1 and 19 of the Core Strategy, and paragraph 180 of the NPPF.

6. The development hereby approved should be carried out in strict accordance with the 'Mitigation and compensation' section detailed in Section 2 A of the 'Ruth Hadden Field House Ecology and Bat Report – Summer 2019' and 'Roof plans and mitigation strategy – Drawing number 4615-5-2'. The development shall be carried out in accordance with the approved details.

Reason: To ensure the development poses no risk of unacceptable harm to protected species and to ensure the development is in accordance with Core Strategy Policy 17, the National Planning Policy Framework (NPPF) and the Conservation of Habitats and Species Regulations (as amended).

7. The barn owl entrance located within the north eastern end of the barn shall remain clear of obstruction including but not limited to overhead cables, to allow for safe flight ingress and egress of barn owls from the aforementioned entrance.



Reason: To ensure the development poses no risk of unacceptable harm to protected species and to ensure the development is in accordance with Core Strategy Policy 17, the National Planning Policy Framework (NPPF) and the Conservation of Habitats and Species Regulations (as amended).

8.The development hereby permitted shall not be occupied until the holiday accommodation has been connected to the mains sewer in accordance with the submitted details.

Reason: To ensure that adequate measures to deal with foul drainage are in place before the development is occupied without the development creating a negative impact in terms of amenity or localised pollution, in accordance with Core Strategy policies 1 and 3 and the NPPF.

9.Prior to the commencement of the construction of the car parking and turning area hereby approved, the detached timber barn shall be demolished in accordance with the submitted details.

Reason: In the interests of highway safety, in accordance with Core Strategy policy 3 and the NPPF.

10.The development shall not be occupied until the car parking area indicated on the approved plans has been surfaced and marked out in parking bays. Thereafter, the car parking area shall be retained in accordance with the approved plans and shall not be used for any purpose other than the parking of vehicles associated with the development.

Reason: In the interests of highway safety, in accordance with Core Strategy policy 3 and the NPPF.

11.The development shall not be occupied until details of the vehicular access, which should be a Type A access, have been submitted to and approved in writing by the Local Planning Authority and implemented in accordance with the approved details. Thereafter, the vehicular access shall be retained in accordance with the approved details.

Reason: In the interests of highway safety, in accordance with Core Strategy Policy 3 and the NPPF.

Informative Notes



1. Building materials or equipment shall not be stored on the highway unless otherwise agreed. You are advised to contact the streetworks team on 0345 6006400 for Skips and Container licences.
2. In accordance with the Highways Act 1980 mud, debris or rubbish shall not be deposited on the highway.
3. Alterations to vehicle crossing point (improvement required - to be in accordance with NCC type A access) (S184) You should note that alterations to the existing vehicle crossing point are required. These works should be carried out before first use of the development. To arrange alterations to the existing vehicle crossing point (and to make good any damage or other works to the existing footpath or verge) you should contact the Highways Area Office at: westernareahighways@northumberland.gov.uk

Background Papers

19NP0113

	Signature	Date
Planning Officer	J. Smith	20/3/20
Head of Development Management	<i>S. Buylla</i>	23/03/2020