
Design & Access / Heritage Statement

Proposed
Alterations at The
Star Inn, Harbottle

February 2020

1.0 Introduction

- 1.1 The Star Inn is located in the village of Harbottle and within the Northumberland National Park. The property occupies an area of 860sq.m and is located in a prominent position in the centre of the village.

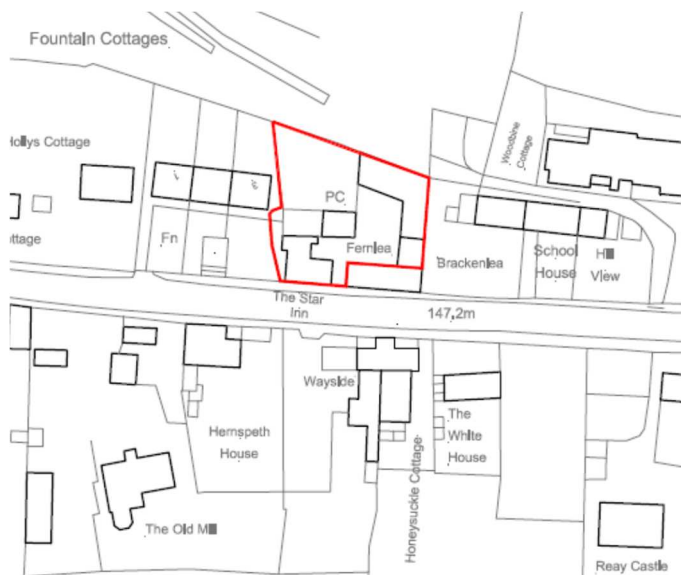


Front Elevation



Gable Elevation

- 1.2 The pub dates from circa 1850 and is surrounded by local heritage including the ruins of Reay Castle to the southeast.



Location Plan

- 1.3 The pub has recently been acquired by the current owners who purchased the property from the previous landlady who 'called time' after 46 years of ownership.

The new owners are heavily investing in the property to sympathetically update the premises and to provide additional facilities and offerings.

- 1.4 Investment is essential to ensure the long-term sustainability of a much loved and needed community resource.

2.0 Proposals, Design & Appearance

- 2.1 The pub is traditional in form, design and materials consisting of natural sandstone walling under pitched slated roofs with sash style windows in a 2 over 2 format.



Existing Front Elevation

- 2.2 Alterations and additions are proposed to the external elevations which include:
- Alteration of window opening on west elevation into door. The existing opening width, sand-stone head and quoin stones will be retained, the cill removed and new in-band and out-band quoin stones to match installed. The proposed door will be of composite construction and of traditional style with a recessed boarded lower part and glazed upper part in 6 panes. The door and frame will be painted grey similar to the other doors around the property.

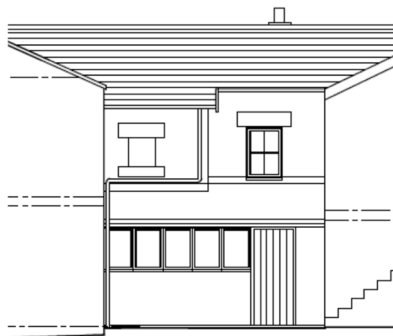


Existing Window

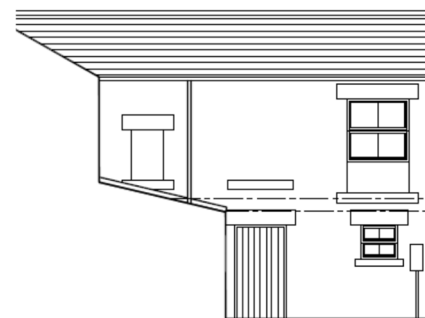


Proposed Door

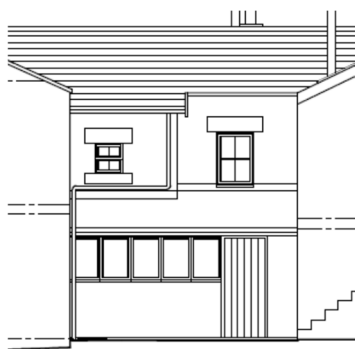
- The opening up of two former window openings on the south & east courtyard elevations. The window openings are fully formed with heads, cills and quoins and have been built up in the past with stonework. It is proposed to removed the later stonework (which appears to not affect the original surrounds) and install new white uPVC windows in 2 over 2 format to match the recent high-quality installations.



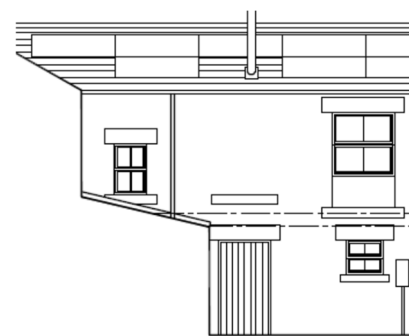
Existing East Window Opening



Existing South Window Opening



Proposed East Window Opening



Proposed South Window Opening

- Replacement of the front bowed bar window with two sash style windows. The existing timber bow window is in very poor condition, beyond economical repair and will soon become a safety concern. It is proposed to replace the window with two white uPVC windows in 2 over 2 format within the existing opening.

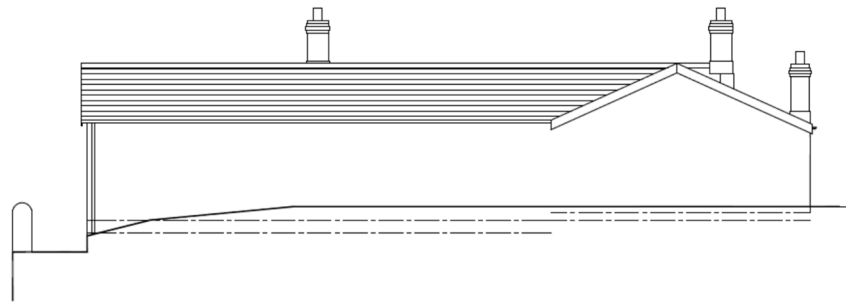


Existing front bar window

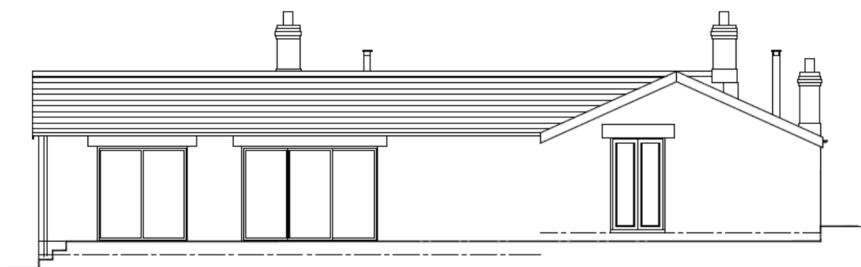


Proposed front bar window

- Installation of two flues through the roofs from wood-burning stoves. The flues will be 150mm in diameter and will project 1.50m from the roof slope. The top of each flue will be completed with a small terminal and the finish will be matt black to ensure they remain as inconspicuous as possible.
- Installation of sliding glass doors & large glass window to rear (north) elevation to proposed function room. The rear elevation currently does not include any window or door openings and faces the rear garden and fields behind. The sliding doors will provide access into the rear garden from the proposed function room and both the doors and screen will provide light, outlook and amenity. Both will be manufactured in high quality aluminium sections and powder coated in grey similar to the other doors around the property. New sand-stone heads to match the existing will be installed over the openings and the jambs will be formed with large stones, pointed in. The doors and screen will be set back a minimum of 100mm into the jambs.

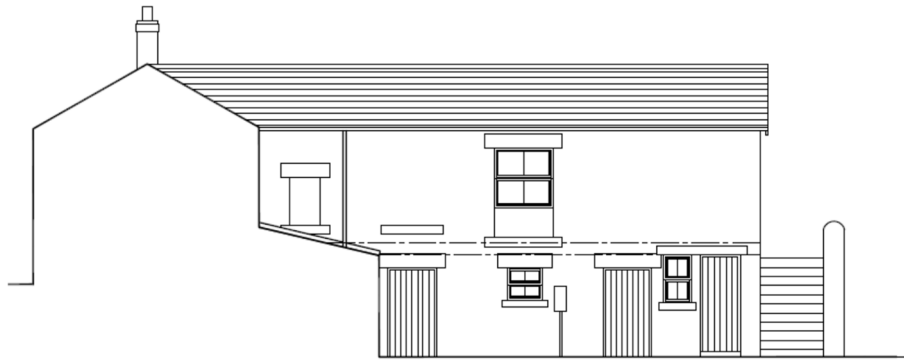


Existing rear (north) elevation

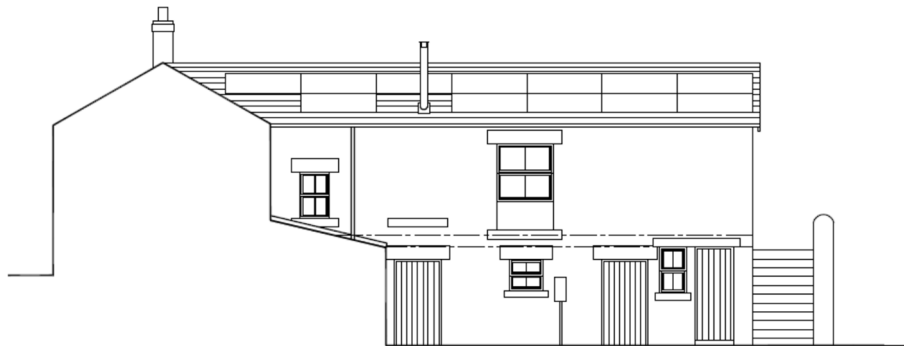


Proposed rear (north) elevation

- Installation of double glass doors to rear (north) elevation to owners flat. The proposed doors will provide access into the rear garden from the owners flat and will provide light, outlook and amenity. The doors will be manufactured in high quality aluminium sections and powder coated grey similar to the other doors around the property. A new sand-stone head to match the existing will be installed over the opening and the jambs will be formed with large stones, pointed in. The door will be set back a minimum of 100mm into the jambs.
- Installation of solar PV panels to courtyard (south) roof-slope. The proposal includes the installation of 12 high quality panels which will each produce 700 – 800 KWh of electricity every year. Each panel measures 1.70m w x 1.00 h and will be mounted on the south courtyard roof slope largely obscured from the main street by the pub and cottage frontage. The installation will provide electricity to the pub and future income increasing the sustainability of the business.



Existing courtyard (south) elevation



Proposed courtyard (south) elevation with solar PV installation

- 2.3 The proposed alterations and additions will be made using high quality materials and components undertaken by highly skilled tradesmen to ensure the external elevations are enhanced and remain consistent with the original character and format.
- 2.4 The external sandstone walls are pointed with traditional hydraulic lime mortar and the alterations will be built and pointed with mortar to match the original.

3.0 Use

- 3.1 Public house offering a range of alcoholic and non-alcoholic beverages, light snacks and occasional entertainment and incorporating a games room, small convenience store and landlord's accommodation.

4.0 Scale

- 4.1 The site area covers 860 sq.m.
- 4.2 The existing and proposed footprint is 193 sq.m; no increase in floor area is proposed.
- 4.3 The existing eaves and ridge heights will be maintained. The proposed flues will project a maximum of 0.50m above the existing ridge height and 0.90m lower than the highest point of the existing chimney-stacks. Both flues are located towards the rear of the property / courtyard and will be mostly unnoticed from the street.

5.0 Landscaping

- 5.1 The existing courtyard which is set out with garden furniture will be retained as existing.
- 5.2 The rear garden levels will be reduced to below the first-floor level to allow installation of the new openings to the north elevation.



Existing garden level at rear elevation



View north up rear garden

- 5.3 The existing gravel and flagged path to the west will be utilised to gain access to the proposed door on the west elevation.

6.0 Access & Parking

- 6.1 Existing parking arrangements will remain unchanged.
- 6.2 Access in and out of the pub will be enhanced with the inclusion of the new door openings.

7.0 Impact

- 7.1 The appearance of the pub frontage will remain relatively unchanged but will be improved by the replacement of the dilapidated bow window. The setting and character of the streetscape will not be affected and therefore the impact of the development is considered to be low.
- 7.2 The village location, presence within the National Park and impact on neighbours have been carefully considered in the proposals.
- 7.3 The proposal will make a positive contribution to the area and community as a whole and preserve and enhance the character of the National Park.
- 7.4 The proposed improvements will have a positive impact for the local area and wider community and will assist in the sustainability of a valuable resource.