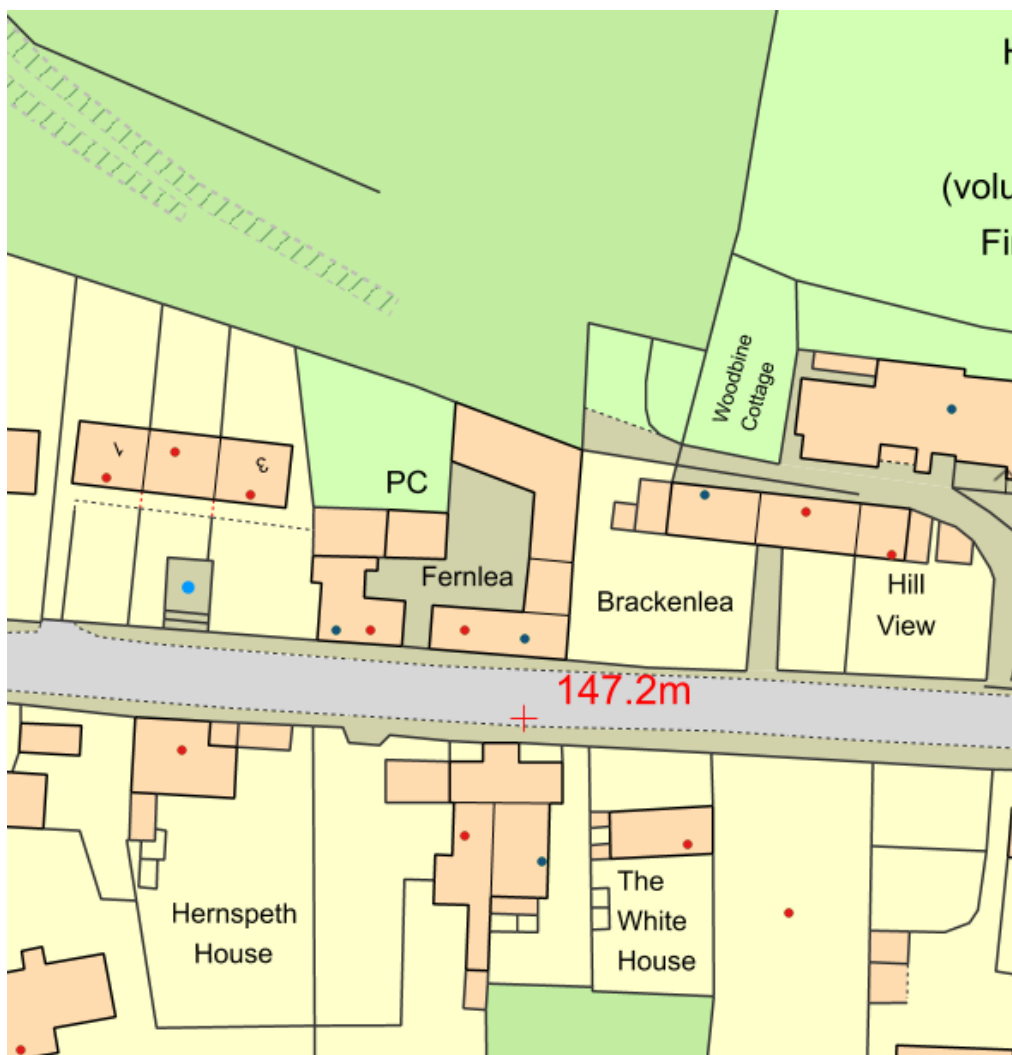




DELEGATED DECISION REPORT

Application Reference Number	20NP0001
Description / Site Address	Alterations to buildings, including installation of UPVC windows to various elevations, including French windows and patio doors to rear. Installation of 2 flues and solar panels at Star Inn, Harbottle, Morpeth, Northumberland, NE65 7DG
Expiry date of publicity / consultations	3 March 2020
Last date for decision	3 April 2020

Details of Proposal



Location plan

The application seeks various alterations to The Star Inn, Harbottle to renovate, rationalise and expand the business. The property is a circa 1850s two storey complex of buildings,



comprising a public house with flat, shop, store, courtyard, beer garden and outbuildings. The courtyard is accessed to the east of the public house leading to the shop, cellar, toilets and access by way of stairs to the first floor store and beer garden area to the north of the site. To the east of the stairs, lies a further courtyard which is enclosed by associated outbuildings. To the west, a gate located on the boundary with the highway leads a path up along the side of the property. This area of land sits adjacent to a residential property, 3 Fountain Cottages which is set far back from the frontage of the public house. The boundary is bordered with a 1metre high picket fence.

The property is mentioned in the 1987 Historic Building Survey – Grundy as being ‘a late 18th to early 19th century house. Built of finely-dressed stone with Welsh slate roof and late 19th century brick chimneys. It is a small two-storey, three-bay house, with a 20th century bow window; 20th century door and sashes elsewhere in original openings. Worthy of note however, for its fine stonework, which includes a square plinth. The property is a locally listed Grade iii building.

The proposed alterations are as follows;

Installation of door in place of existing window on the west elevation. The door would provide access to the applicant’s private flat which would otherwise be accessed internally via the pub downstairs. The door would be accessed via a stepped pathway built upon earthworks on the western elevation which is accessed via a gate opening onto the street. The pathway/steps are currently being constructed under permitted development rights. The proposed door would be of modern composite materials with a 6 pane window, finished in grey to match other doors on the property. As to reduce intervention, the door would be the same width as the existing window and use the existing lintel.

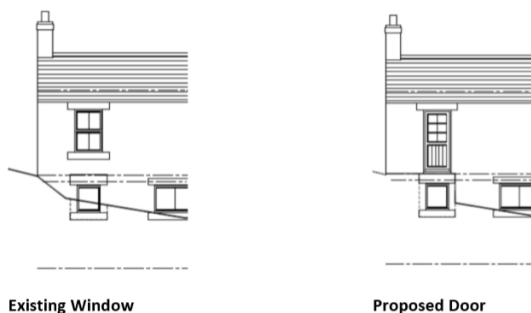


Fig 1 existing and proposed door



Fig 2 showing location of proposed door

Opening up of two former window openings on south and east courtyard elevations. It is proposed to open up two previously filled in windows facing onto the enclosed courtyard. The later stonework that fills the windows would be removed and two 2 over 2

style UPVC windows would be installed. This would allow for additional light into the living room of the flat and store.

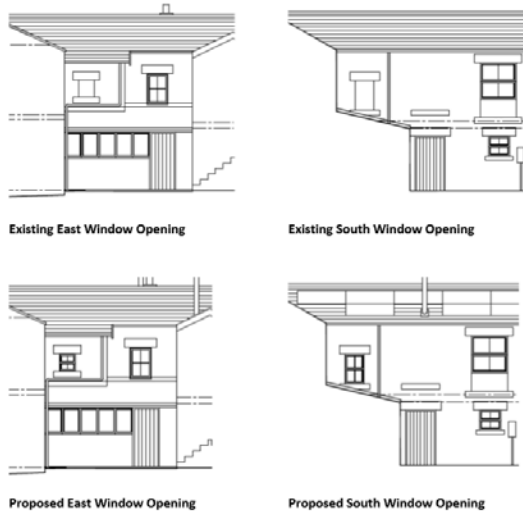


Fig 3 existing and proposed windows



Fig 4 location of proposed windows

Replacement of bowed window to front of public house with modern sash style window. It is proposed to replace a 20th century bowed window located on the bar room with a modern UPVC sash style 2 over 2 window as the existing unit is in poor condition and beyond repair.

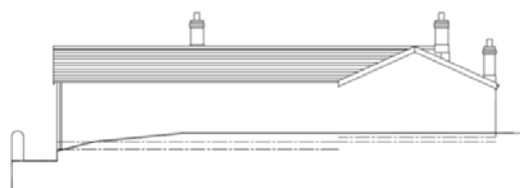


Fig 5 existing and proposed barroom window

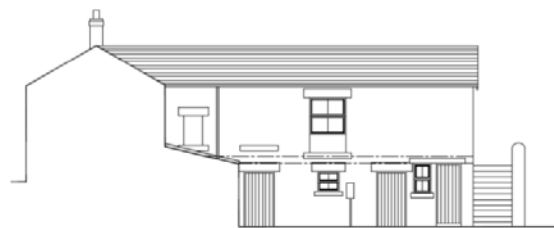


Fig 6 location of proposal window

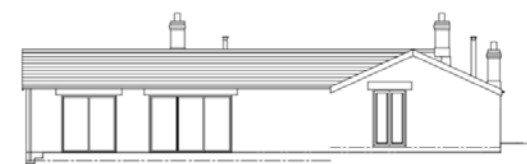
Installation of two flues into roof space for wood burning stoves. One located in the store's roof space and the second located within the flat's roof space. Both flues would be of identical design; 150mm in diameter, projecting 1.50m from the roof slope and finished matt black. The flues would be finished with a discreet terminal.



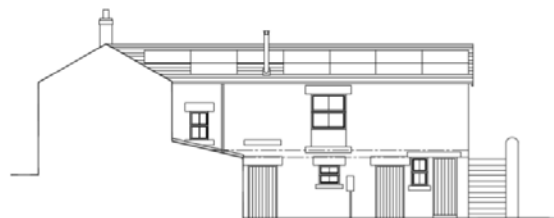
Existing rear (north) elevation



Existing courtyard (south) elevation



Proposed rear (north) elevation



Proposed courtyard (south) elevation with solar PV installation

Fig 7 existing and proposed flue on flat

Fig 8 existing and proposed flue on store



Fig 9 store and beer garden looking east



Fig 10 flat looking south

Installation of sliding door and full height windows within north facing wall of store/ function room and installation of French doors to flat. It is proposed to install a rear entrance to the existing store/ proposed function room by way of a sliding patio door 2m wide and 2m high. A window would be located next to it, measuring 3m wide and 2m high. The units would be aluminium and finished in grey to match existing doors on the site. New stone lintels would be installed and all units set back 100mm into jambs. The windows and doors are to facilitate the ancillary use of the pub with the existing store, enabling further use of existing pub buildings.

Installation of solar PV panels to south facing courtyard roof slope. It is proposed to install 12 solar panels each measuring 1.7m wide by 1m long to the south facing roof slope of the flat and store roof slope.



Fig 11 solar panel location

The proposed plans show that the store to the rear will be used as a function room/ ancillary to the main public house use. This is all within the same use in planning terms and therefore does not require planning permission.

Planning Policy & Guidance National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

Local Policies

Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)

Policy 1	<i>Delivering Sustainable Development</i>
Policy 3	<i>General Development Principles</i>
Policy 5	<i>General Location of New Development</i>
Policy 18	<i>Cultural Heritage</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>
Policy 25	<i>Renewable Energy and Energy Efficiency</i>



Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Night Skies</i>
Policy DM14	<i>Historic Landscape Assets and Built Heritage</i>
Policy DM15	<i>Archaeological Heritage</i>

The NNPLP has been submitted to the Secretary of State for examination. The Inspector has agreed Main Modifications that he considers will make the plan sound and there is currently an ongoing consultation on these modifications. As some policies within the NNPLP are currently under consultation, it is considered they can currently be afforded little weight. However, it is anticipated that Local Plan Policy DM11 will not be altered and is relevant to the current application, as such can be given more weight. It is however the view of the LPA that consideration of the policies within the NNPLP would not materially alter the assessment of the proposals as undertaken below.

Paragraph 213 of the NPPF advises that weight should be given to relevant policies in existing plans according to the degree of consistency with the NPPF i.e. the closer a policy in a local plan accords with the NPPF, the greater the weight that may be given to them. The adopted development plan is the Northumberland National Park Core Strategy (2009) and the policies within the Core Strategy are considered to be in accordance with the NPPF and can therefore be given due weight.

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

20NP0008 - Advertisement Consent - Installation of hanging sign and swan neck lighting on existing bracket – Granted 12/3/2020

Consultation/Representations

NCC Public Protection – no comments/ objections

Historic Environment Officer – The proposals are welcomed and show consideration for the character of the building, using existing openings or where inserting new openings, to do so in a manner which brings the building into a condition fit for modern purposes. Whilst not listed it is of medium historic significance. It is noted that there has been a reduction in levels to the rear of the property. It is understood that there has been previous landscaping



to the area in the 20th century and no concerns are raised over the removal of 20th century material. If pre 19th or late 18th century material is to be removed, then a watching brief is recommended.

Harbottle Parish Council – no comments received

The application has been advertised by means of a site notice dated and displayed 10th February 2020. Letters were sent to 8 neighbouring properties. One letter of representation has been received in response from a neighbour explaining that they have no problems with the works being carried out and the proposal has their blessing.

Assessment

- The principle of the development;
- Design, amenity and historic environment
- Impact upon National Park special qualities

The principle of development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy 1 of the NNPA Core Strategy Local Development Framework (Core Strategy) seeks to ensure that development proposals will conserve or enhance the special qualities of the National Park. The effects of the proposed scheme on these qualities are discussed in more detail later in this report.

Strategic Policy ST1 of the emerging Northumberland National Park Local Plan (NNPLP) adopts a presumption in favour of sustainable development, setting out the criteria for such development and specifying development that would be deemed unsustainable. It is considered that the proposal is in accordance with Policy ST1, however little weight can be given to this policy at this time.

The site is situated within the Local Centre of Harbottle. Policy 5 of the Core Strategy states that Local Centres such as Harbottle will be the focus for new local needs development. As such, it is considered that the proposal accords with Policy 5 in principle.

A similar approach to the location of new development is taken by policy ST4 of the emerging NNPLP although little weight can be given to this policy at the current time.

Design, amenity and historic environment

Core Strategy policy 3 is supportive of proposals which *'demonstrate high quality design and construction, which protects and enhances local character and distinctiveness through*



careful integration with the existing built form'. Policy ST2 of the emerging NNPLP places a similar emphasis on high quality design although it can currently be afforded little weight.

Policy 18 states that the National Park will support proposals which conserve enhance and promote the quality and integrity of the cultural heritage of the National Park, particularly those which preserve the special architectural or historical interests of locally listed buildings. Policy DM14 of the NNPLP adopts a similar approach to conserve and enhance built heritage.

The proposal comprises a number of elements, set out above in detail. In simple terms, the proposal is for the addition of various doors and windows, two flues and solar panels to the south facing roof space of the store/ function room.

The proposed reinstatement of two windows within the courtyard, the creation of a door on the western elevation, the replacement of the bar room window, the insertion of patio doors and French windows on the northern elevation, installation of two flues and solar panels to the south facing roof of the store/ function room as a whole are considered to be acceptable in terms of their impact upon the character, historic context and appearance of the building. They will be discussed in further detail below.

Windows and doors

Whilst the use of timber for the windows and doors in a building of its age and traditional construction would have been preferred, having regard for the existing UPVC windows installed within the rest of the building, the proposed use of UPVC and aluminium framed windows and doors is, on balance, considered to be acceptable. Furthermore, the Historic Environment Officer who was consulted on the application considers that in the case of a non-listed building such as this, where the applicant is proposing to retain the features of historic interest (as set out in the 1987 survey) of stonework and sashes in original openings, that no objection to the use of UPVC is made.

The Star Inn, being located within a village is in close proximity to a number of residential properties. However, given the layout of the proposal in relation to the nearby dwellings, most of the proposed windows and doors would not be visible from outside of the site, so would not give rise to an unacceptable loss of privacy or overlooking. Furthermore, no extensions to the building are proposed and so no overshadowing or loss of light would result from the scheme. The bar room window would effectively be a like for like replacement, meaning no additional loss of amenity would occur on the southern elevation. The proposed door on the western elevation would replace a window and whilst the proposed door would overlook a neighbouring property's front garden, it would not offer any further opportunity to do so that can already be achieved via the window it would replace.

Flues



The proposed flues would be located above the private flat of the applicant and the store/function room to the rear of the building. They would facilitate the use of stoves for heating those spaces which is not considered an unreasonable requirement. Whilst it would be preferred that existing chimneys be used to house the flues, no such structure are present in the immediate vicinity of those rooms. The simple design, scale and siting of the flues are such that they reduce any negative impact upon the character, historic context and appearance of the building to a minimum.

Solar panels

The building's layout and the proposed location of the solar panels are such that they would not be prominent within the streetscene. From outside of the site, they would only be visible from the narrow entrance way to the courtyard. Given the height of the building, the field of vision to view the panels would be minimal. Given the dark colouration of the panels and their low profile design, they are considered acceptable in terms of their visual impact upon the building and surrounding area.

Cultural Heritage

The Historic Environment Officer stated that the proposals were generally welcomed, in that they show consideration of the character of the building and are in-keeping, using existing openings where possible, or where inserting new openings, doing so in a manner which brings the building into a condition fit for modern purposes. The consulting officer made no objections to the proposal.

The Historic Environment Officer did however highlight a low chance of undisturbed pre 18th century deposits linked to the medieval village of Harbottle being located underneath the 20th century landscaping to the rear of the building. The consulting Officer suggested that an informative be attached as part of any approval to ensure the applicant is aware that should they intend to disturb or discover any undisturbed pre 19th or late 18th century soil horizons/ material as part of the works, an Archaeological watching brief would be needed. However given this would require an archaeologist being on site at the time of excavation this would be considered to be excessive when the likelihood would be that the minor earth works required are more likely to be 20th Century. As such it is considered a condition requiring a watching brief would be disproportionate.

The proposed scheme is therefore considered to accord with Core Strategy Policy 3 and 25 and the NPPF.

Impact upon the National Park Special Qualities



Landscape

Policy 20 of the Core Strategy seeks to ensure proposals will conserve and enhance the beauty and heritage of the National Park while being responsive to landscape change.

Policy DM11 of the emerging NNPLP echoes CS Policy 20 by ensuring that the natural beauty and heritage of the National Park are conserved and enhanced whilst being responsive to landscape change.

A proposal of this scale and in this location is considered to create minimal impact upon the landscape character of the area. The pub is not easily visible with limited views of the building available only from within close proximity of the site and therefore accords with Core Strategy Policy 20 and Policy DM11 of the emerging NNPLP.

Tranquillity

Policy 19 of the Core Strategy supports proposals that conserve or enhance the tranquillity of the National Park. In order to determine the extent to which tranquillity is affected there will be an assessment of the impact of the proposal upon noise, traffic and level of light generated as a result of the proposal.

Policy DM11 of the emerging NNPLP echoes CS Policy 19 by supporting proposals that conserve or enhance the tranquillity and pristine dark skies of the National Park.

Given the nature and scale of the proposal it is not expected that the scheme would give rise to an increase in noise and traffic and so would have no detrimental impact on the tranquillity of the area.

The site is in a sensitive location within the Northumberland International Dark Sky Park. No specific detail of any external lighting which may be required in connection with the proposed development has been submitted as part of the application. A condition restricting the installation of external lighting is however not considered appropriate in this instance given that the scheme relates to an existing public house which already has external lighting. However, an informative has been attached advising the applicant that the site is located in a sensitive location and providing details of lighting suitable for use within the International Dark Sky Park.

The proposal is therefore considered to accord with the requirements of Core Strategy Policy 19 and Policy DM11 of the emerging NNPLP.

Other special qualities



Given the proposal does not fall within or near to an area of ecological importance, the proposal would not have a detrimental impact upon the biodiversity or geodiversity of the Park.

Recommendation & Conditions

Grant conditional permission subject to the following conditions :

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form received 6th Jan 2020
- Design & Access /Heritage Statement received 10th Feb 2020
- Solar panel specification received 7th Feb 2020
- Proposed site and roof plans drawing number 20-02-04 received 7th Feb 2020
- Existing plans and elevations drawing number 20-02-01 received 7th Feb 2020
- Proposed plans and elevations drawing number 20-02-02 received 7th Feb 2020
- Existing site, roof and location plans drawing number 20-02-03 received 7th Feb 2020

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies 1, 3, 5, 18, 19, 20 and 25 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF).

3. The external facing materials and finishes to be used in the development hereby permitted shall be in accordance with details contained in the application. The development shall not be constructed other than with these approved materials.

Reason: To ensure that the development respects the appearance of the existing property and to maintain the visual appearance and amenity of the area, and the special qualities of the National Park, in accordance with Core Strategy policies 1 and 3 and Chapter 6 of the NPPF.



Informative Notes

1. The application site is located within the Northumberland International Dark Sky Park. The 'Good Practice Guide for Outside Lighting in Northumberland International Dark Sky Park' and an additional guide to unacceptable / acceptable lighting is attached. It is recommended that any external lighting required in connection with the development is undertaken in accordance with the Guidance.
2. The applicant should be aware that the site is within the Harbottle Village Atlas, an area of historical significance. Any ground disturbance works should not disrupt any pre 19th or late 18th century soil horizons or material.

Background Papers

20NP0001

	Signature	Date
Planning Officer	JSmith	26/3/20
Head of Development Management	SBuylla	26/03/2020