



DELEGATED DECISION REPORT

Application Reference Number	20NP0038LBC
Description / Site Address	Listed Building Consent - Replacement of sash windows with double glazed heritage sash windows, installation of conservation roof windows to rear and new rear access door to kitchen and sun tunnel at 1 The Square, Akeld, Wooler, Northumberland, NE71 6TA
Expiry date of publicity / consultations	23 July 2020
Last date for decision	19 August 2020

Details of Proposal

1 The Square, Akeld is a stone and slate Grade II Listed Building which is part of a group of similar cottages. It is located approximately 2.5km to the south-west of Kirknewton and adjacent to the northern boundary of the National Park. The Listing describes the building(s) as such:

Farm cottages. Probably 1892. Random rubble with tooled-and-margined ashlar dressings. Welsh slate roof and brick chimneys.

4 ranges of single-storey cottages round a central courtyard. Carriage entry in centre of north range with 6 bays to left and 5 bays to right. East and west ranges 6 bays. South range 11 bays. Doors are boarded (except one late C20 door) and have overlights. 12-pane sash windows in alternating-block surrounds. North range has gabled roof, south range hipped roof. Many square corniced ridge stacks.



Figure 1: Site Location



The application is seeking approval for the following works:

- Replacement of sash and case windows in the south, east and west elevations with new double glazed heritage sliding sash windows;
- Window opening to the northern elevation enlarged to allow replacement with a new external stable style access door;
- Installation of two conservation roof windows to the western roof slope and one to the southern roof slope;

While it was also initially intended to install a sun tunnel to the southern roof slope, following comments from the NCC Historic Buildings Advisor, this has now been changed to a conservation roof window. Full planning permission is also being sought for various external works and change of use under application reference 20NP0037. However, as these elements do not require Listed Building Consent, including the demolition of the existing store as it is considered to date from post July 1948, they are not considered further in this report.

Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

Local Policies

Northumberland National Park Local Plan

Policy ST1 *Sustainable Development*

Policy ST2 *General Development Principles*

Policy DM10: *Habitats, Biodiversity and Geodiversity*

Policy DM14 *Historic Landscape Assets and Built Heritage*

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

20NP0037 Demolition of store and replacement with garage incorporating a lean-to greenhouse. Upgrading of driveway. Change of agricultural land to domestic use as meadow with fruit trees and planting beds. *Decision pending.*



Consultation/Representations

NCC Historic Buildings Advisor: No objection: subject to appropriate conditions.

NNPA Ecologist: No objection: The replacement of windows and insertion of roof lights does not require a bat survey.

This application has been advertised by means of site and press notices as well as notification letters sent to 8 neighbouring properties. One representation has been received in response which can be summarised as follows:

- The application for a doorway into the square means that it will open out onto the property of no 2. It may be that a change in their property deeds is required.

Assessment

The principle of the development

The National Planning Policy Framework (NPPF) is clear that a presumption in favour of sustainable development is at the heart of decision-taking. Strategic Policy ST1 of the Northumberland National Park Local Plan (NNPLP) adopts a similar presumption in favour of sustainable development, setting out the criteria for such development. Relevant to the current application, Part I) of policy ST1 recognises sustainable development as development which '*conserves or enhances the historic environment and helps secure a sustainable future for assets at risk*'. The impact of the proposed development on the historic environment is considered in detail below.

Impact on the character of the Listed Building

Local Plan policy DM14 states that development affecting the built heritage of the National Park should '*reinforce its distinctive historic character by fostering a positive and sympathetic relationship with traditional local architecture, materials and construction*' and '*High standards of design will be promoted to conserve and enhance the built heritage*'.

The proposals involve the replacement of all of the existing sash and case windows in the south, east and west elevations with new double glazed heritage sliding sash windows and the enlargement of the window opening to the northern elevation to allow the insertion of a new external stable style access door. It is also intended to insert two conservation roof lights (western roof slope) and one conservation roof light (southern roof slope).

The application has been supported by a joiners report which concludes that '*Taking in to account the general condition and the highlighted issues with the window frames my recommendation would be to replace the frames with new windows manufactured to incorporate the style and features of the originals*'. The application has also been supported by a product specification for the Heritage



sliding sash windows which are proposed to replace the original windows. The windows will incorporate Pilkington Spacia double glazing which has an overall thickness of 6mm.

As the proposals involve works to a Listed Building, the NCC Historic Building Advisor has been consulted. Having considered the scope of the proposed works, the Advisor has raised no objection advising that the proposals are acceptable and would cause no harm to the significance of the Listed Building, subject to appropriate conditions ensuring that the works are undertaken in a manner which respects its character. Initially, the proposals showed a sun tunnel to the southern roof slope. While the Advisor had no objection in principle to the installation of a sun tunnel, full details were requested. Upon receipt the Advisor raised concerns over the impact of the sun tunnel on the character of the Listed Building. The applicant has subsequently submitted revised details showing the sun tunnel replaced by a further conservation roof light, to which the Advisor has no objection.

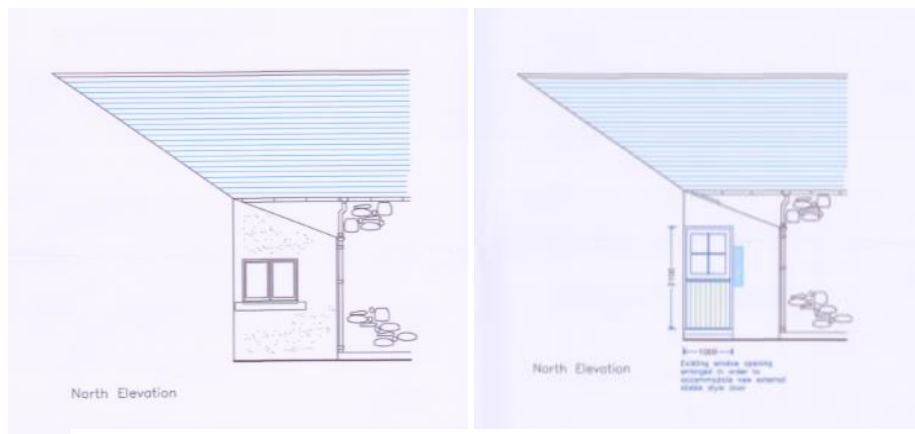


Figure 2: Existing (left) and proposed (right) north elevation

On the basis of the above, subject to the imposition of suitable conditions, it is considered that the works would accord with the requirements of Core Strategy policies ST1, ST2 and DM14 and the NPPF.

Biodiversity

Local Plan policy DM10 states that the conservation and enhancement of wildlife, habitats and sites of geological interest within the National Park will be given great weight with all development aiming to *'Maintain and where appropriate enhance features of ecological value and recognised geodiversity assets'*.

As the proposals involve work to a traditional stone and slate property, the NNPA Ecologist has been consulted on the proposals. Having considered the extent of the works, which only relate to the provision of new doors, windows and rooflights, the Ecologist has advised that the proposals are low risk for bats and would not require a bat survey to be undertaken. The Ecologist has therefore raised no objection to the proposals. On this basis it is considered that the proposals



would have negligible impact on biodiversity are considered to accord with the requirements of Local Plan policy DM10 and the NPPF.

Other

A comment has been received noting that the change of a window to doorway into the square means that it will open out onto the property of no 2 and that a change in property deeds may be required. While the comments are noted, this is a private matter which is not a material consideration in relation to the application and cannot therefore be afforded any weight. It should however be noted that the occupiers of 2 The Square were consulted on the proposals and raised no objection.

Recommendation & Conditions

It is recommended that conditional Listed Building Consent is granted subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Planning application form, received 24th June 2020;
- Location Plan Dwg No 20 /460 / 6 received 24th June 2020;
- Existing Layout and Elevations, Project no 20 / 460, Dwg No 01, received 18th June 2020;
- Proposed Layout and Elevations, Project no 20 / 460 Dwg No 02 (A), received 28th July 2020;
- Existing Site Plan; Project no 20/460. Dwg No 4, received 24th June 2020;
- Existing and Proposed Roof Plan, Project No 20/460, Dwg No 8 (A), received 28th July 2020;
- Photographs received 24th June 2020;
- Window Specification, The Winston Heritage Sliding Sash Window, received 24th June 2020;
- Heritage Statement & Flood Risk, John Dobson, received 18th June 2020;
- Correspondence from Claremont Joinery, Dated 7th June 2020, received 18th June 2020;
- Proposed Development at Akeld, Wooler, Ecological Assessment, BSG Ecology, received 24th June 2020;



Reason: For the avoidance of doubt, to enable the Local Planning Authority to adequately manage the development and to ensure the proposal accords with policies ST1, ST2 and DM14 of the Northumberland National Park Local Plan and the National Planning Policy Framework (NPPF).

3. The proposed windows and doors should be timber with a painted finish and should be recessed into their openings by approximately 100mm.

Reason: To ensure that the works are undertaken in a manner which respects the character of the Listed Building in accordance with Local Plan policies ST1, ST2 and DM14 and the NPPF.

4. The proposed windows should be double hung sliding sash and should be of the type detailed on the technical specification accompanying the application.

Reason: To ensure that the windows are appropriate to the character of the Listed Building in accordance with Local Plan policies ST1, ST2 and DM14 and the NPPF.

5. No trickle vents should be attached to the outer faces of the proposed windows and doors.

Reason: To ensure that the works are undertaken in a manner which respects the character of the Listed Building in accordance with Local Plan policies ST1, ST2 and DM14 and the NPPF.

6. The Conservation rooflights should be of vertical emphasis and should be flush fitting.

Reason: To ensure that the works are undertaken in a manner which respects the character of the Listed Building in accordance with Local Plan policies ST1, ST2 and DM14 and the NPPF.

Informative Notes

1. This Listed Building Consent is granted in strict accordance with the approved plans. It should be noted however that:
 - a) Any variation from the approved plans following commencement of development, irrespective of the degree of variation, will constitute unauthorized development and may be liable to enforcement action
 - b) You or your agent or any other person responsible for implementing this permission should inform the Northumberland National Park Authority's Development Management team immediately of any variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development



Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice

Background Papers

Application File 20NP0038LBC
EIA Screening Report

	Signature	Date
Planning Officer	C Godfrey	5th August 2020
Head of Development Management	<i>Susannah Buylla</i>	05/08/2020