



D+A

DESIGN AND ACCESS STATEMENT

Keepers Cottage, Otterburn,
Northumberland

22.06.2020 REV E

0.0

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1.0

INTRODUCTION

Introduction - This report supports a formal planning application for proposed extension of cottage, extension and conversion of outbuilding formally known as the bothy and conversion of outbuilding formally known as the kennel's.

Where additional information is required such as bat surveys / reports, please review these supporting documents separately in conjunction with the D&A and Formal Planning Drawings.

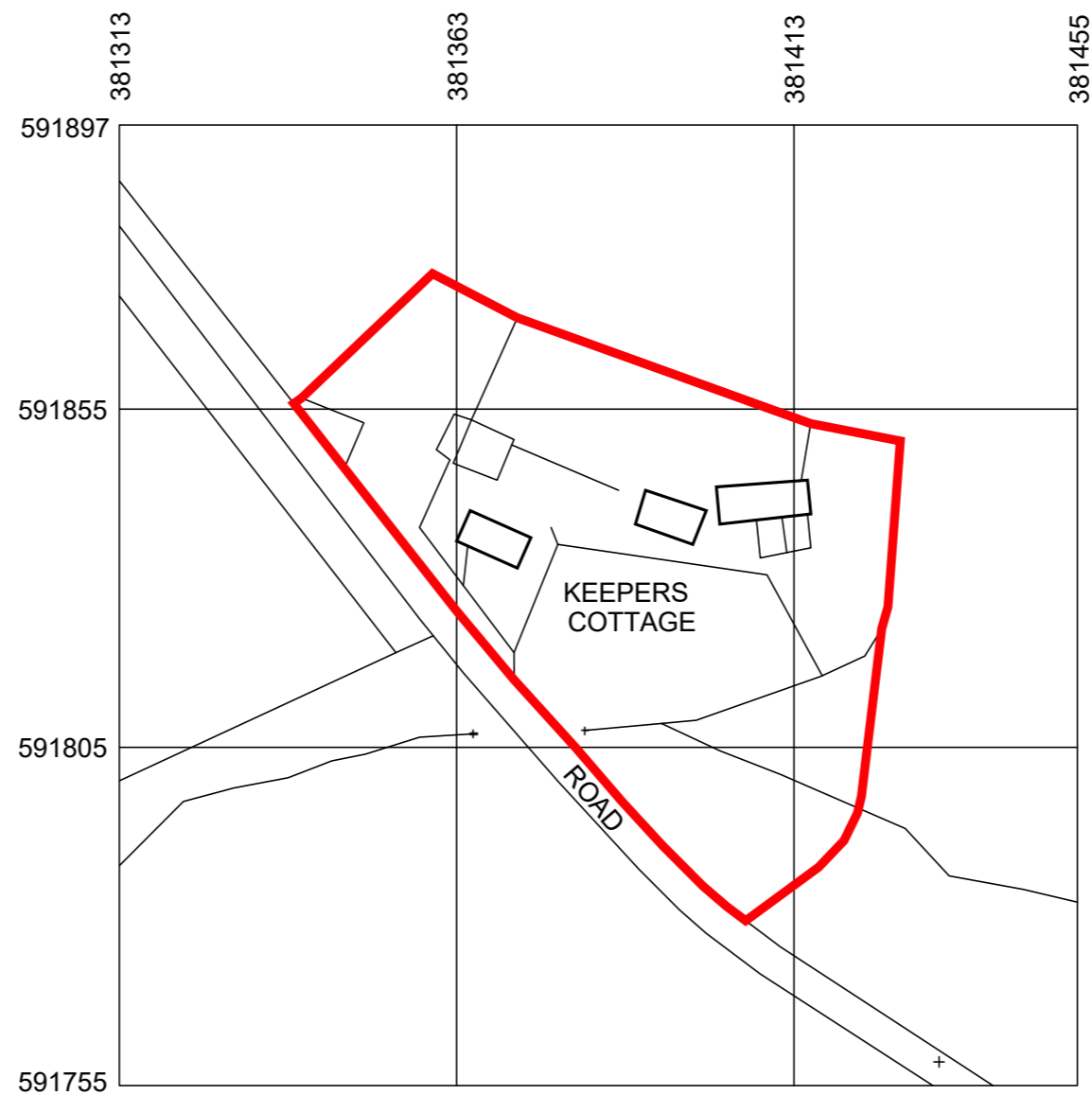
PLEASE NOTE IMAGES AND 3D VIEWS PROVIDED WITHIN THIS REPORT ARE FOR ILLUSTRATIVE PURPOSES ONLY TO HELP EXPLAIN THE SCHEME. PLEASE CROSS REFERENCE WITH THE FORMAL PLANNING DRAWINGS.



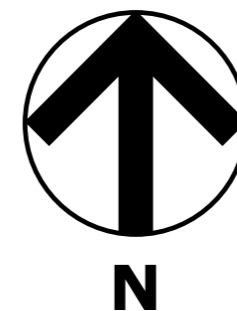
Fig 1. Existing photo of cottage

A copy of the location plan right illustrates the extent of the site. The Site area is 4594msq or 1.135 acres. The site is located within Northumberland National Park.

A Pre-application was undertaken planning ref 19NP0110 and comments received.



SITE LOCATION PLAN @ 1:1250 SCALE
FOR NO. KEEPERS COTTAGE, OTTERBURN,
NORTHUMBERLAND



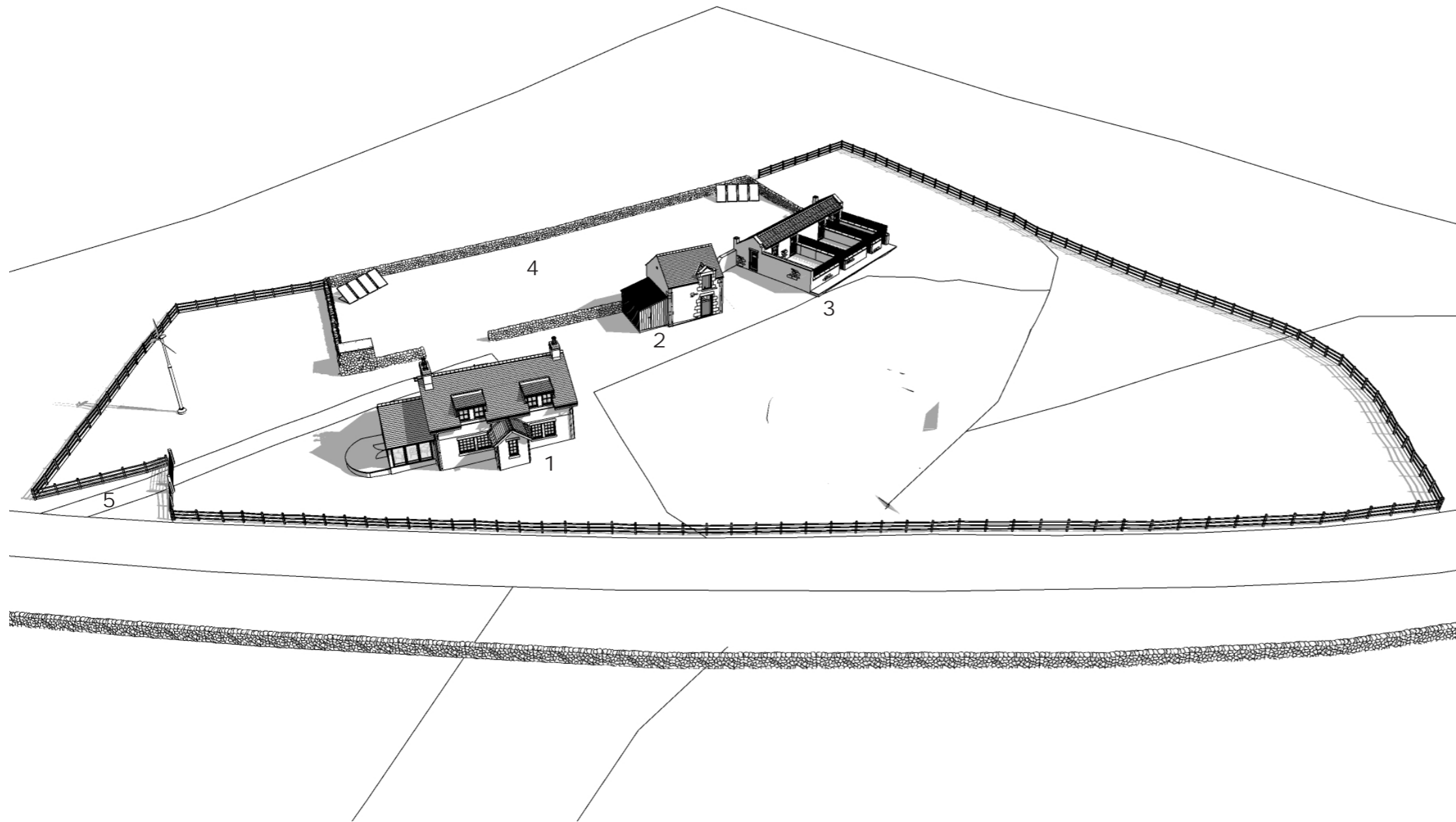


Fig 3. 3D Aerial view - existing buildings on site

The existing site owned by the client contains one dwelling house known as Keepers Cottage, identified as number (1) on illustration left. Two associated outbuildings are on the site known as the Bothy (2) and the Kennels (3) both of which are used for storage in their current state. An existing diesel generator and enclosure adjoins to the bothy and provides back up power to the site.

The site is accessed via a gravel drive (5) which provides suitable off street parking. The driveway adjoins an access road providing routes to the A68 first and then on to Otterburn. The other direction is to Gib Shield. At the finger post the road gives access to Greenhaugh and Bellingham via High Green.

The site is defined by a simple post and wire/rail fence and agricultural vehicle access gate. Within the site a field is located (4) surrounded by natural drystone walling with an existing access opening as illustrated.

The existing buildings are constructed out of stone with natural slate roofs.

Formal consultation was undertaken with a planning consultant on behalf of Northumberland National Park Authority, reference NP2/E/06/11 and pre application advice was formally received. The proposals as per the formal plans submitted take on board the comments and recommendations received to maximise the success of the formal FULL Planning Application. Compliance with the recommendations are noted within the report under section 2 - proposal.

1.0

EXISTING PHOTOS

Photos of the cottage and outbuildings





Design + Access Statement - Keepers Cottage + Outbuildings

2.0

PROPOSAL - Keepers Cottage

The existing two bedroom cottage requires some additional rooms to make it fit for modern day use and to provide an additional much needed bedroom. The plans illustrated page 9 show the existing and proposed layouts. Proposals are as follows;

1. New two storey side extension to provide a sun at ground floor and bedroom at the upper floor. New set back dormer window to bedroom to match existing. Access to the new bedroom will be provided by reduction of bedroom 1 to allow for corridor access from landing as illustrated. This method has reduced the size of the proposed rear extension as illustrated.
2. New rear single storey extension to provide new WC and utility room.
3. New roof over single storey rear extension (item 2 above) to provide en-suite within proposed roof void and new dormer window to match existing.
4. Reconfiguration of existing WC room to provide boot-room/vestibule entrance suitable for county living. New access door to boot-room with new simple roof canopy over. Roof line extruded to create canopy. Canopy design similar to that of the conservatory for consistency.

Compliance with recommendations of planning consultant ref NP2/E/06/11. Refer to letter in Appendix.

- a. Extension(s) relatively simple in style in order to be consistent with the appearance of dwelling. Scale and proportion to match that of the existing façades including new dormers.
- b. Extension to side is proposed to be built off the existing gable elevation.
- c. Extension to side maintains the existing ridge-line and is stepped down to remain subservient to the main building.
- d. Front elevation of extension to side is stepped back in plan to remain subservient to the main building. Stepping back of the front facade similar to that of the existing conservatory maintains the exposure of the existing stone quoins. The step back means the extension remains subservient to the main building.
- e. The rear extension comprising the WC and utility is located on the existing undeveloped corner of the building footprint. The extension is integrated into the main house with the continuation of the existing roof pitch.
- f. Materials, detailing and finishes in the scheme match those within the existing dwelling with features such as the projecting gable eaves.

Landscaping works would be to match existing with grass up to building line.

An extension to the existing driveway is proposed with new gravel toppings to match over the existing drive. The extension to the driveway will maintain/provide parking for 4 vehicles and turning head, this will allow vehicles to egress the site in forward drive.

The extension to the driveway will be permeable and sympathetic to the site and surroundings using gravel. The parking is suitability provided within the field compound accessed via the existing opening in the wall, this is in accordance with pre-application recommendations. The parking area will sit behind the existing stone walls and therefore significantly reduce the visual impact from the road.



Fig 4. Existing 3D perspective view from main road of Keepers Cottage



Fig 5. Proposed 3D perspective view from main road of Keepers Cottage

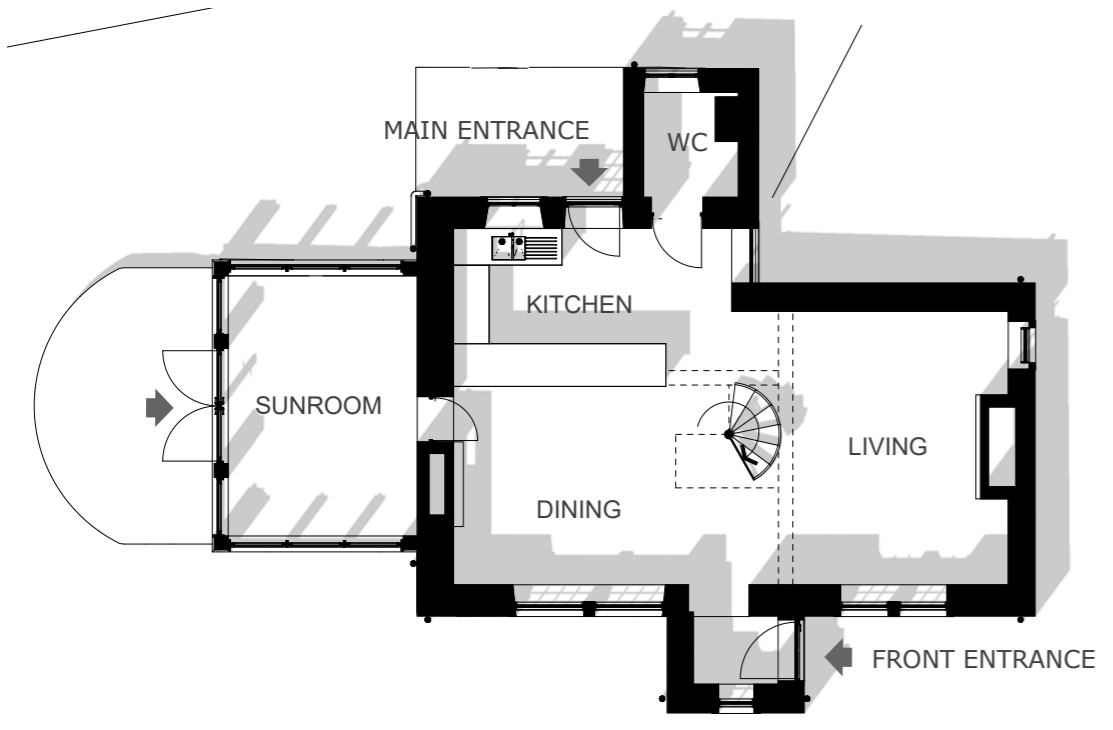


Fig 6. Existing Ground Floor Plan

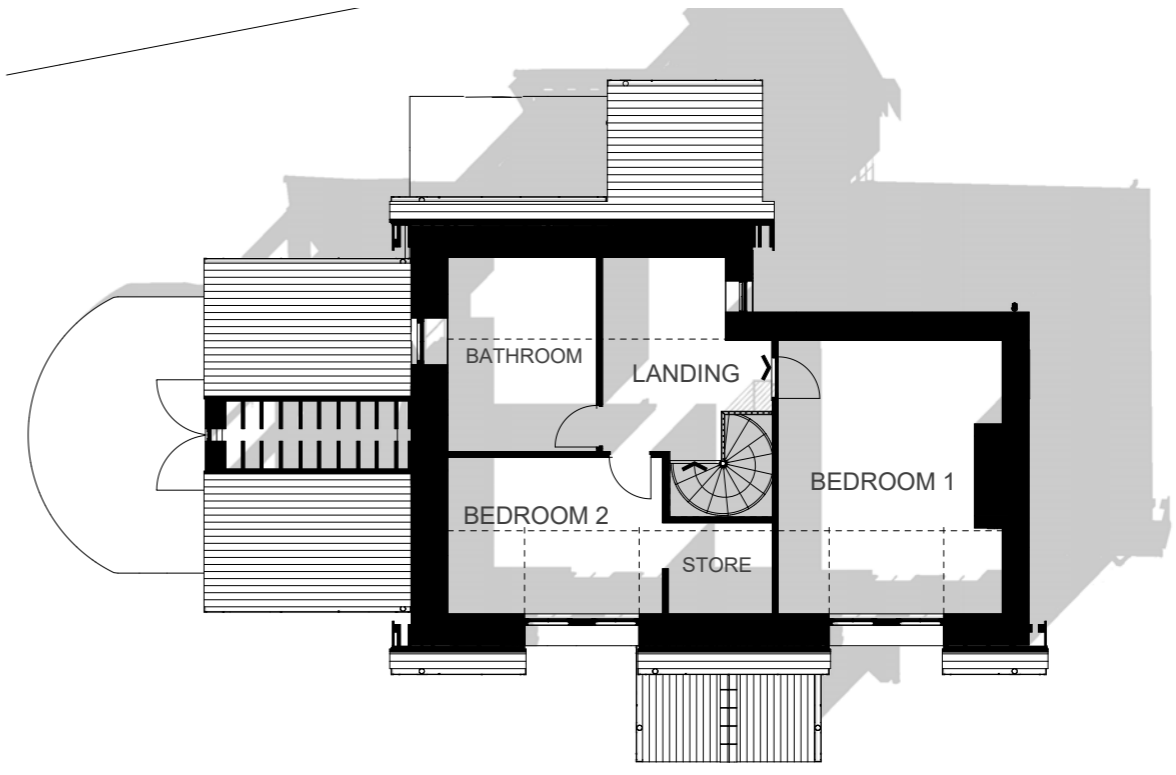


Fig 7. Existing First Floor Plan

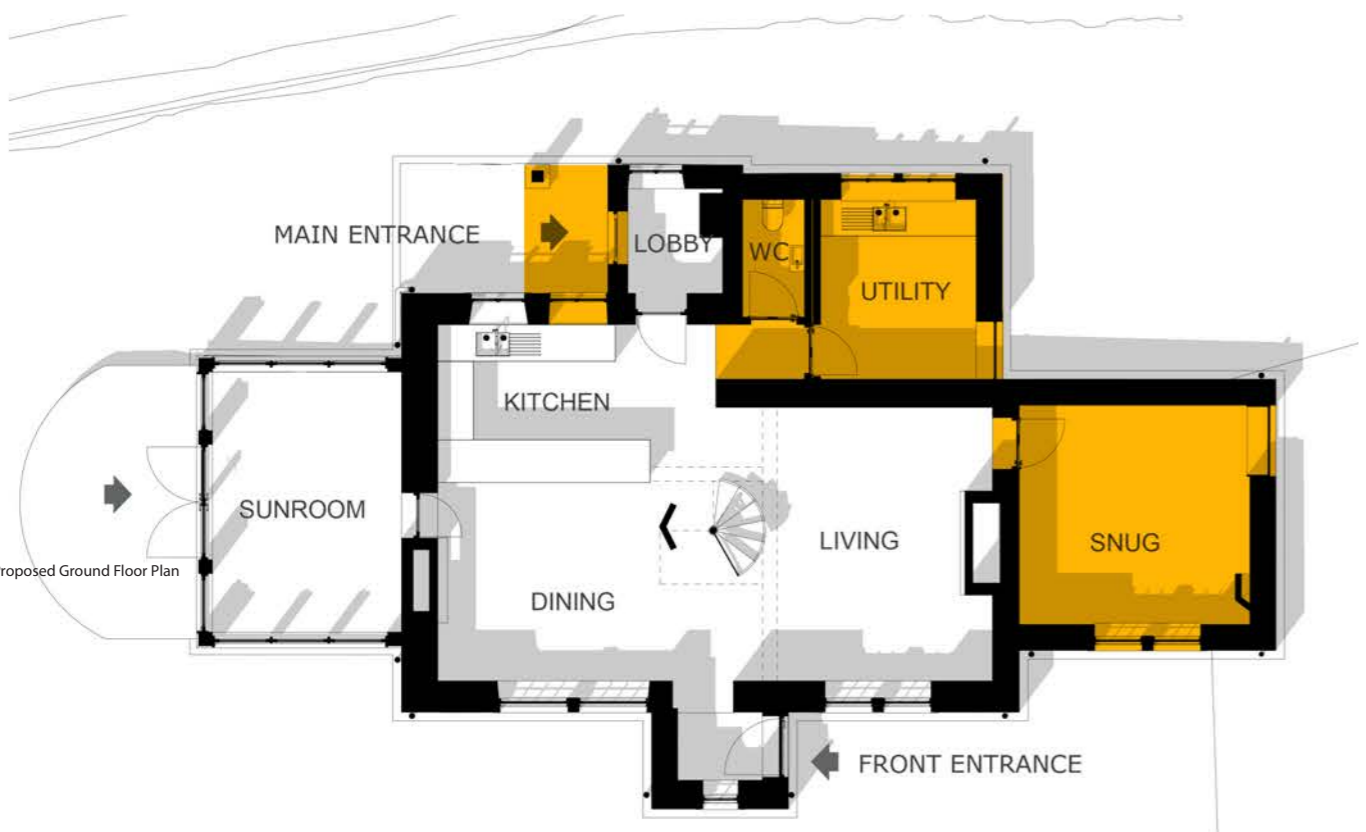


Fig 8. Proposed Ground Floor Plan



Fig 9. Proposed First Floor Plan

2.0

PROPOSAL - Outbuilding formally known as 'the Bothy'

The existing outbuilding on the site formally known as the bothy is used for storage. The bothy is private use only and therefore not open to use by ramblers / general public. The proposed works to the bothy seek re-use for holiday accommodation, the pre-application supported this use, quote 'I am satisfied that their reuse for holiday accommodation is an acceptable one and that the buildings are capable of conversion.'

The proposed works are to maintain the existing function in the bothy space with a snug type living area at ground level and sleeping accommodation at the upper level. A new simple staircase will provide safe and suitable access to the upper level to comply with current Building Regulations. In addition a small extension to the gable provides accommodation for a small kitchen with secondary access to amenities to the back (field). The upper floor of the extension provides a suitable shower en-suite facility. The following page illustrates the extent of the additions

The existing front entrance door is replaced with a simple glazed door to allow for daylight. A new simple window is added to the upper fenestration opening to allow for views and daylight into the bedroom. A new window opening is proposed to the north facade at ground level to add daylight and a framed view of the field. Both openings are treated simply with basic grey framed windows to maintain the outbuilding appearance and its subservience to the main dwelling-house (Keepers cottage).

The small extension to the side of the bothy is clad in a timber vertical board to reflect the look of the attached side shed, this will enhance the original building form.

The extension is naturally lit by a slit window to the north reducing impact of the proposed building from the main road, the simple slot window abuts the existing stone wall further enhancing the existing building and separating it from the new without adding multiple windows and cluttering the facade.

The addition contains concealed rainwater gully and downpipes to maintain simplicity of design and the hierarchy of the existing building.

The existing attached shed contains the existing back up diesel generator for backup power to the site. The enclosure will be re-clad with timber vertical boarding and re-roofed with slate to match existing on bothy.

Compliance with recommendations of planning consultant ref NP2/E/06/11. Refer to letter in Appendix.

- The addition is housed within a simple timber extension.
- Extension set back in plan to expose the existing quoins.
- Extension step down in roof to distinguish between the original and new roof line, (note roof line as low as possible to maintain headroom)
- Materials, detailing and finishes in the scheme match those within the existing site with features such as timber cladding and slate roof.

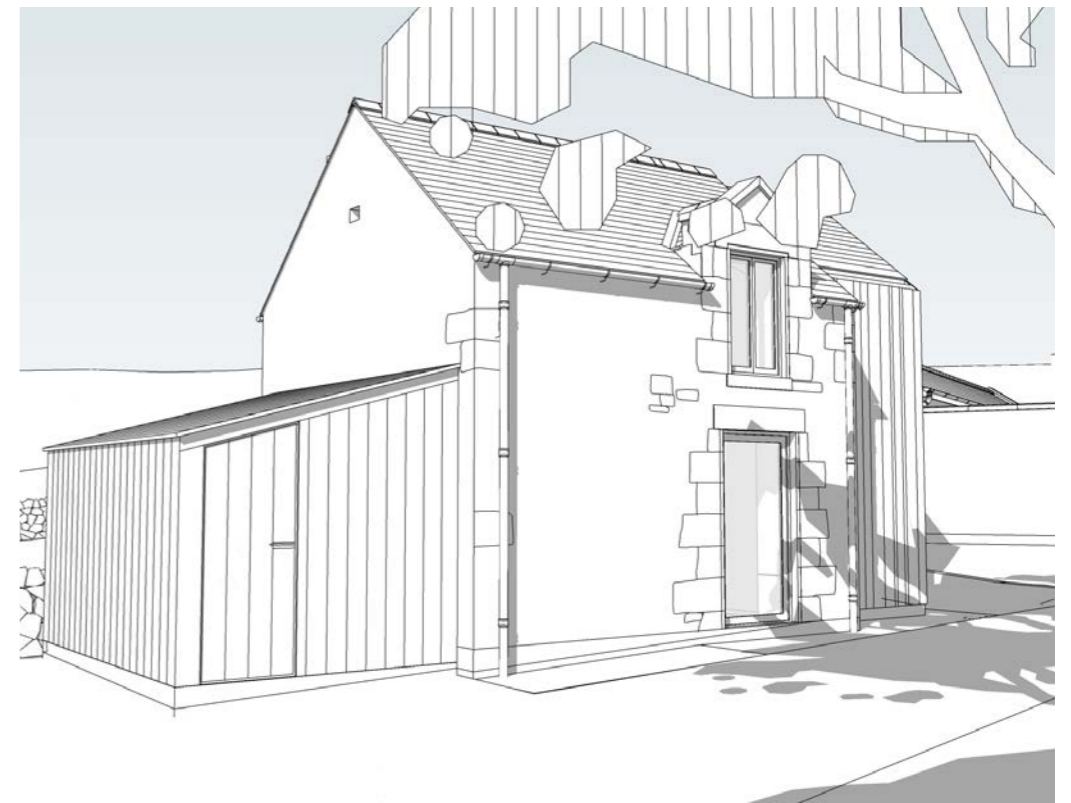
Landscaping - due to levels on site, grade to the eastern corner is way above internal floor level, it is therefore proposed to build a low retaining wall and provide a narrow permeable path around the perimeter to mitigate against water ingress of the envelope while maintaining the existing fabric.



Fig 10. Existing 3D perspective front elevation view of the outbuilding



Fig 11. Proposed 3D perspective front elevation view of the outbuilding



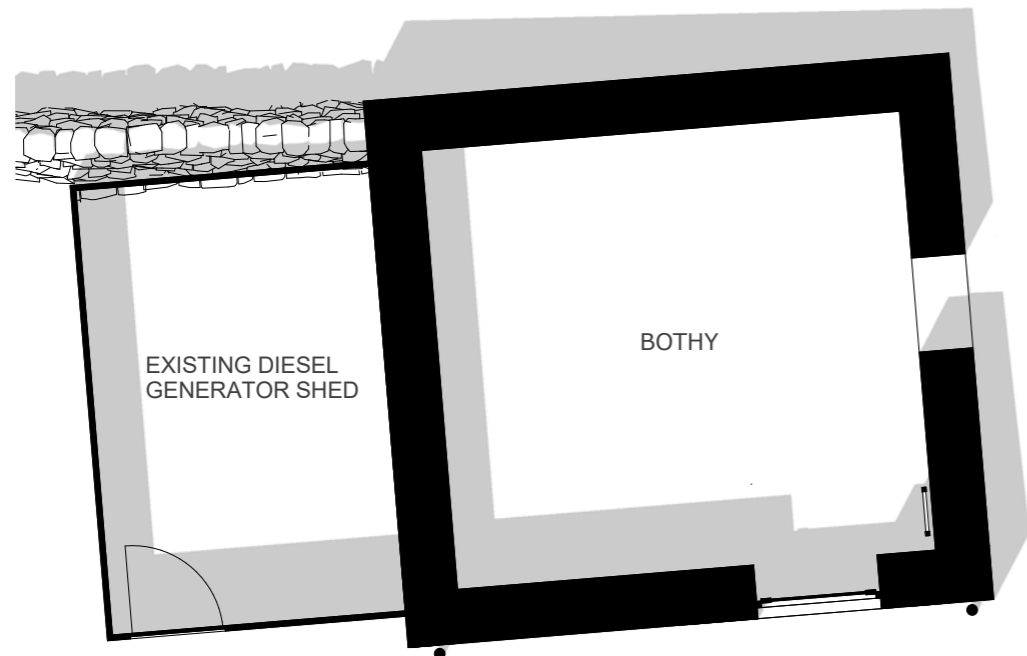


Fig 12. Existing Ground Floor Plan

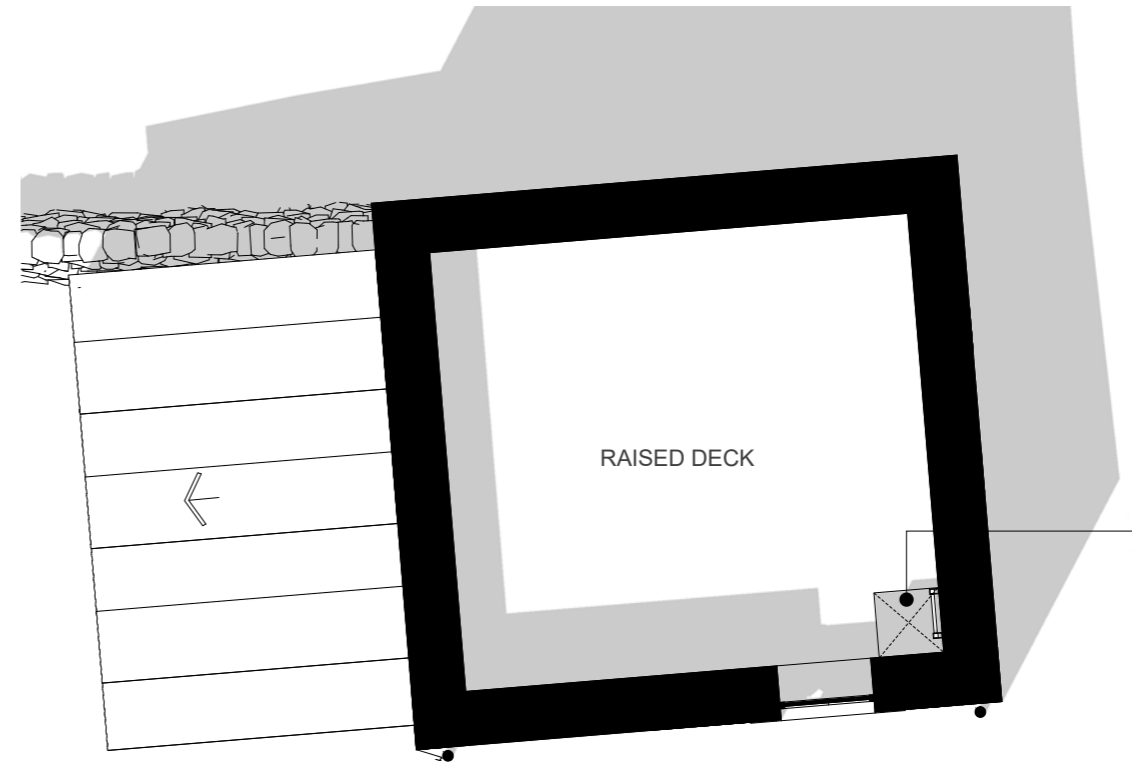


Fig 13. Existing First Floor Plan

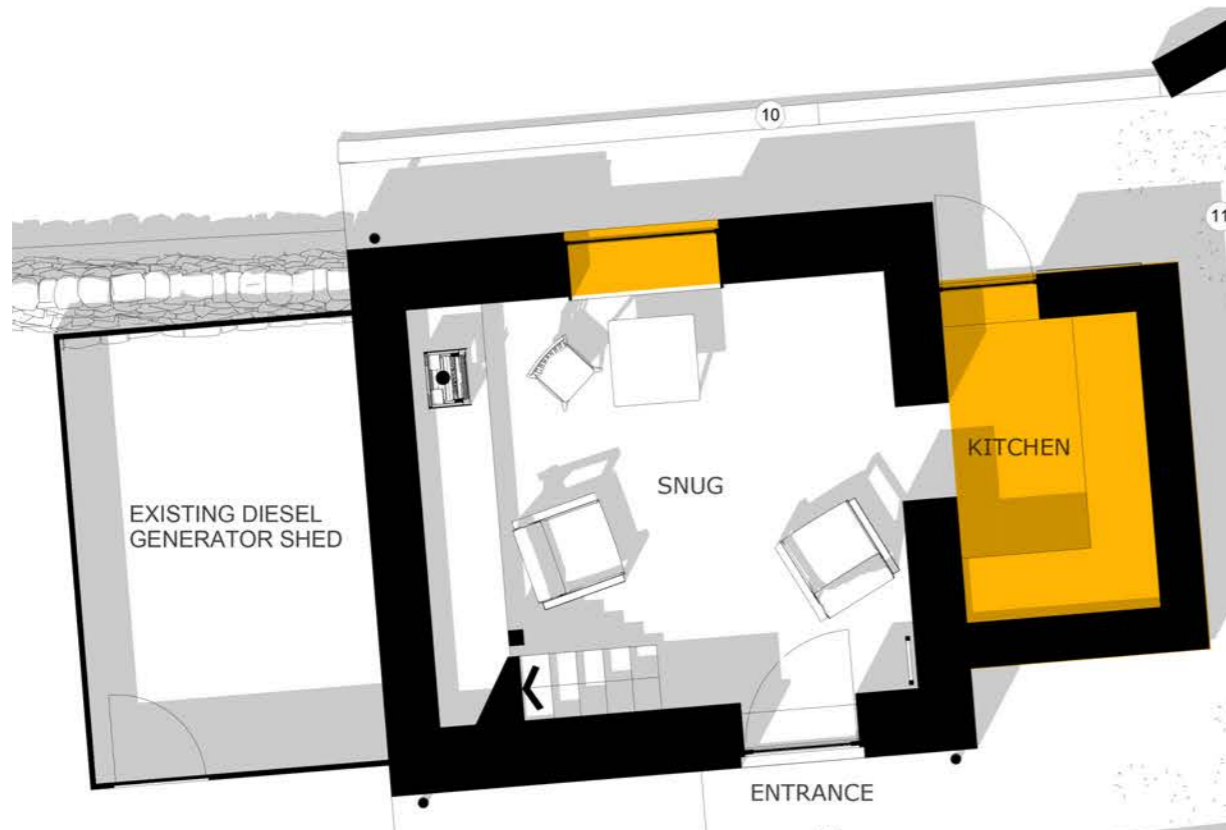


Fig 14. Proposed Ground Floor Plan



Fig 15. Proposed First Floor Plan

2.0

PROPOSAL - Outbuilding formally known as 'the Kennels'

The existing outbuilding on the site formally known as the kennels is used for storage. The kennel is private use only and therefore not open to use by ramblers / general public. The proposed works to the kennels seek re-use for holiday accommodation, the pre-application supported this use, quote ' I am satisfied that their reuse for holiday accommodation is an acceptable one and that the buildings are capable of conversion'.

The proposed works are to retain all existing openings, yard enclosure walls and their metal railings as per the formal drawings. A new opening within the wall to the south provides daylight, private views and access to the existing yard (direct amenity). The opening will be simple and grey framed doors fully glazed will compliment the existing openings, in future this opening could be filled in with the appropriate permissions to return the building back to its original state if required. A similar approach on a smaller scale to the rear facade has been adopted to provide two simple openings to provide daylight into the space, their impact from the road will be minimal and private views of the field will be appreciated while providing natural daylight.

Internally some of the walls are modified to accommodate a bedroom, snug living space with open planned compact kitchen and shower room/WC. The existing timber sliding sash window will be replaced with a new timber sliding sash window with opaque glass to maintain privacy in the shower room. Existing door openings are retrained for ventilation and access/escape with new timber doors as illustrated.

Landscape - the yard space will finished with a stone hard-stand and a small opening created to connect the two larger yards, this is to maximise its use as a space to sit in, reducing the amenity requirement to use the rear field which as no direct access from the building. The appearance of the kennels will be maintained and restored with the new opening(s) to compliment its new use.



Fig 16. Existing 3D perspective front elevation view of the outbuilding



Fig 17. Proposed 3D perspective front elevation view of the outbuilding

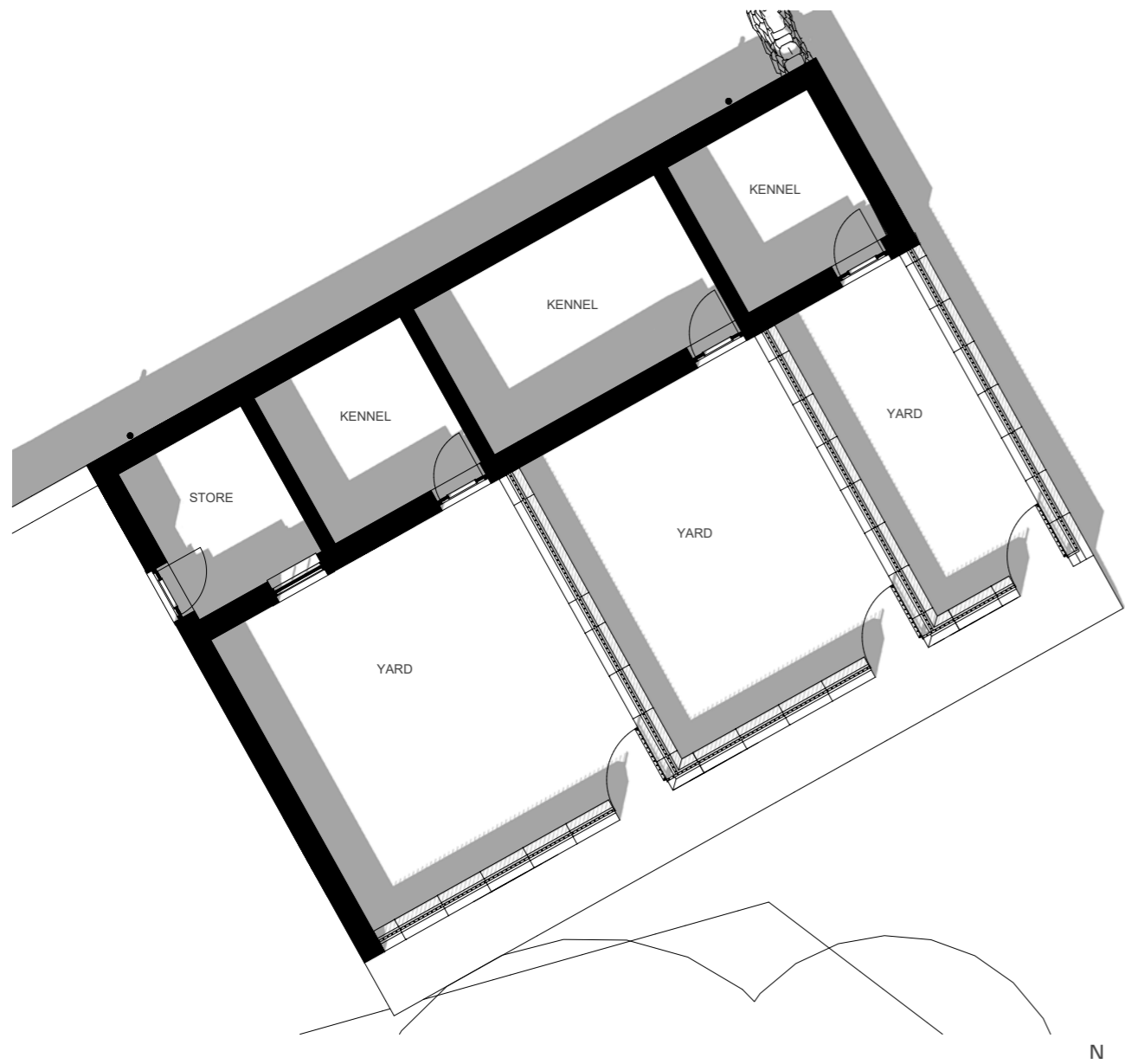


Fig 18. Existing Ground Floor Plan

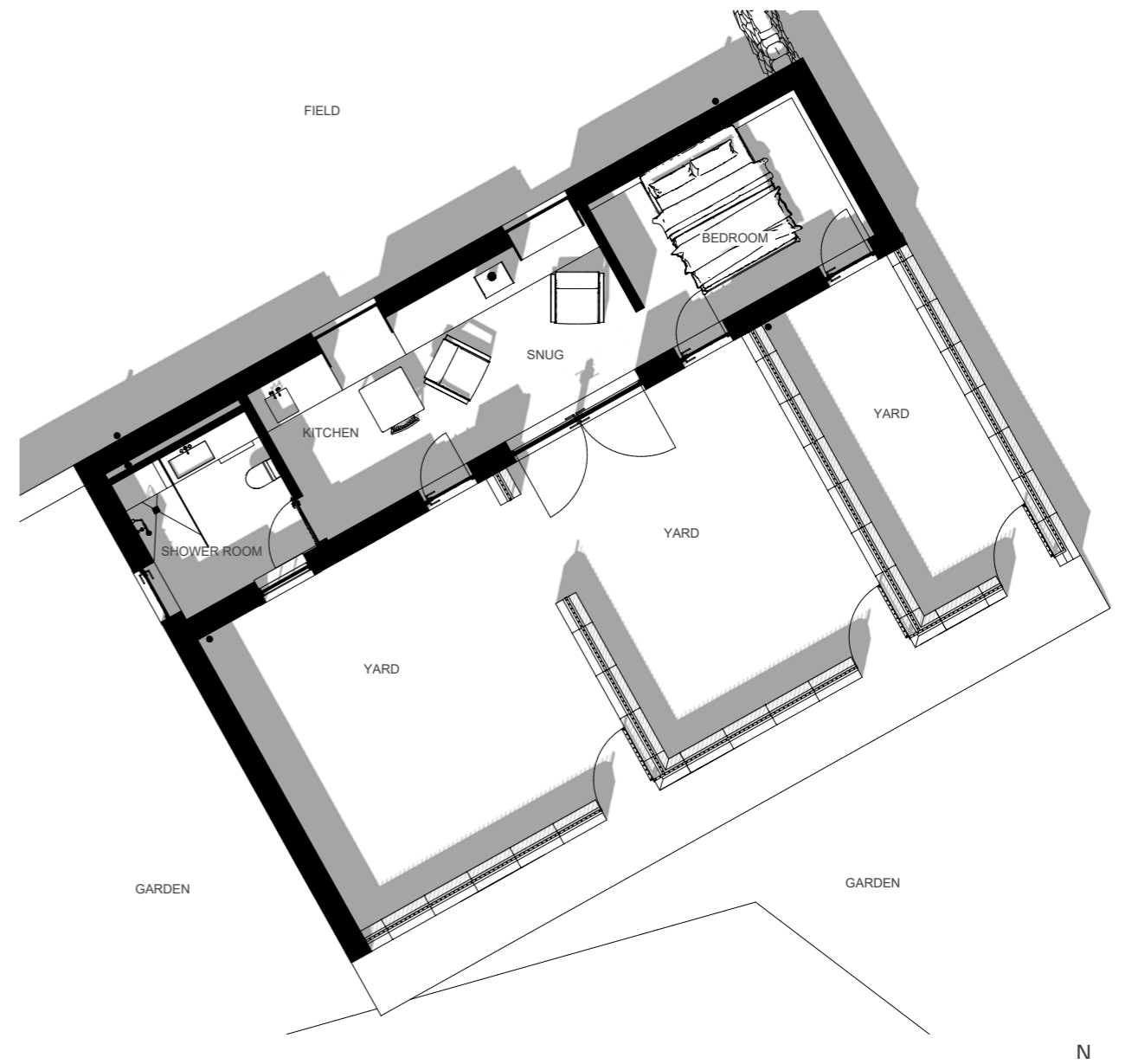


Fig 19. Proposed Ground Floor Plan

3.0

SCALE - Keepers Cottage

The scale of the extension has been carefully considered and a redesign of the pre-application proposal to reflect the recommendations made by the planning department.

The scale of the new side extension is an extrusion of the gable with reduced proportions to maintain the hierarchy of the original building extent.

Proportions match the existing fenestration with similar overhanging eaves.

The rear extension is an extrusion of the rear side facade which allows for the roof to extend over, simplifying the roofs-cape. A new rear dormer window which matches the proportions of the existing provides suitable space for a small en- suite. Utilising the roof space generated by the rear extension reduced the size requirement of the side extension accordingly. The dormer helps to break down the rear roof scape in an attractive and suitable way without change of pitch or form.

New gable fenestration is provided to maximise views and daylight without conflicting with the front street facade. The openings are in-filled with simple grey frame windows to make them appear subservient to the main facade and existing architectural features.

New materials match the scale of existing ie. stonework & slate.



Fig. 20 Existing frontage - scale



Fig. 21 Proposed frontage - scale