

# 3.0

## SCALE - The Bothy



Fig.22 Existing frontage - scale

The scale of the extension has been carefully considered and a redesign of the pre-application proposal to reflect the recommendations made by the planning department.

The scale of the new side extension is an extrusion of the gable with reduced proportions to maintain the hierarchy of the original building extent.

Cladding of the new extension will be in timber vertical cladding of a scale similar to that of agricultural buildings.

A new window on the rear facade is designed to have different but complimentary proportions to the existing fenestration. The same size openings are to be introduced to the adjacent building 'the kennels' so the rear façades of the pair compliment one another.

The existing side shed will be re-clad while maintaining existing proportions / footprint with timber to match the extension.

A replacement rooflight is proposed to improve natural daylight within the bedroom space using an appropriate conservation rooflight.

The rear side of the extension will be naturally lit with a tall slot window and roof-light with fine grey profile to enhance the separation of the extension and bothy. The proportions of the window follow the tall lines of the extension so they read as one mass rather than a facade punctured with multiple windows.

Roof slate to match the scale of the existing.

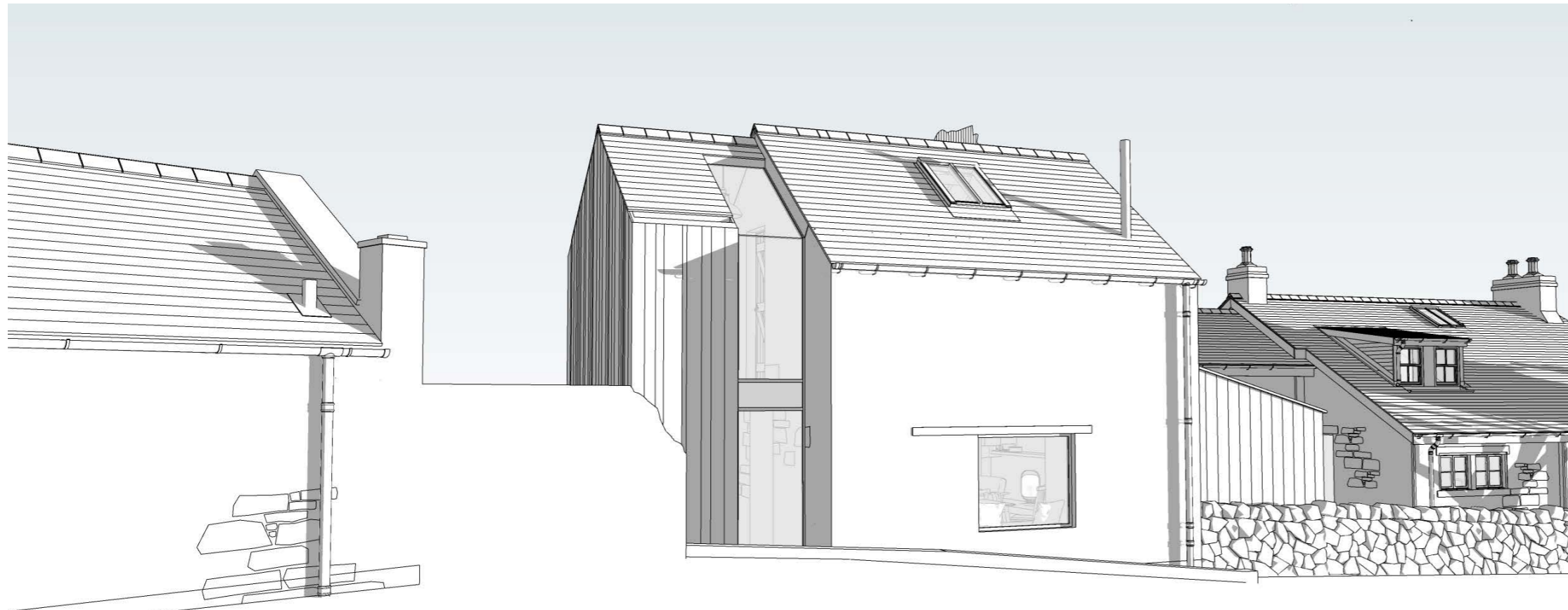


Fig.23 Proposed frontage - scale

# 3.0

## SCALE - The Kennel

The Kennels are to be converted with adaptation of internal walls to provide appropriate size spaces for their purpose. New fenestration is proposed as there is only one existing window within the building. To avoid conflict between new and old openings, the new openings are simple and of a complimentary scale to distinguish between the two.

Following the design principles of the bothy, two new simple windows are introduced to the rear facade to match that of the bothy.

A new opening is introduced to the front facade which is within the private yard space. This opening allows for direct access into the amenity space (yard) while providing a view and natural daylight. The scale of the opening is similar to agricultural buildings, the opening is carefully positioned between two existing doors with suitable scale piers to balance the intervention.

All new openings are simple in their visual form and design, they preserve the existing fenestration. The new openings could be filled back in to return the building back to its original use maintaining the long term flexibility of the building.

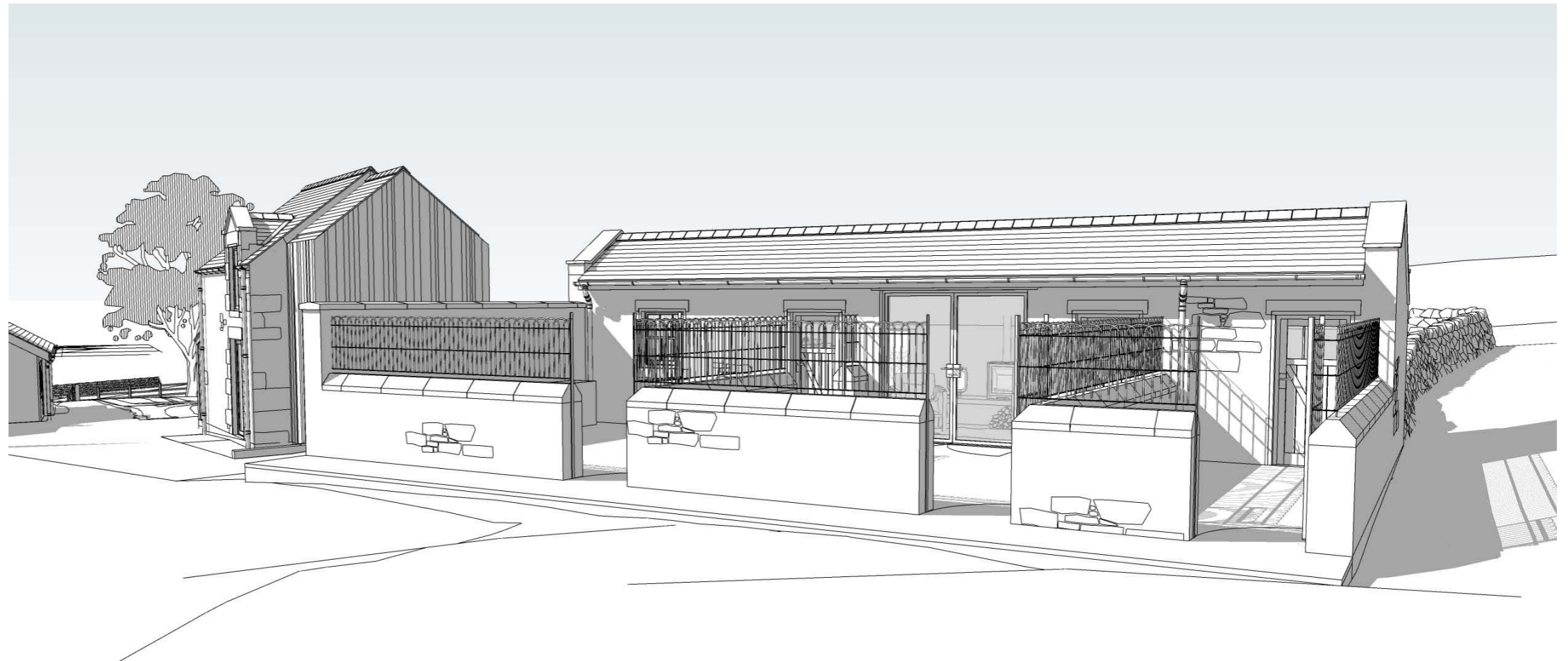


Fig.24 Existing frontage - scale

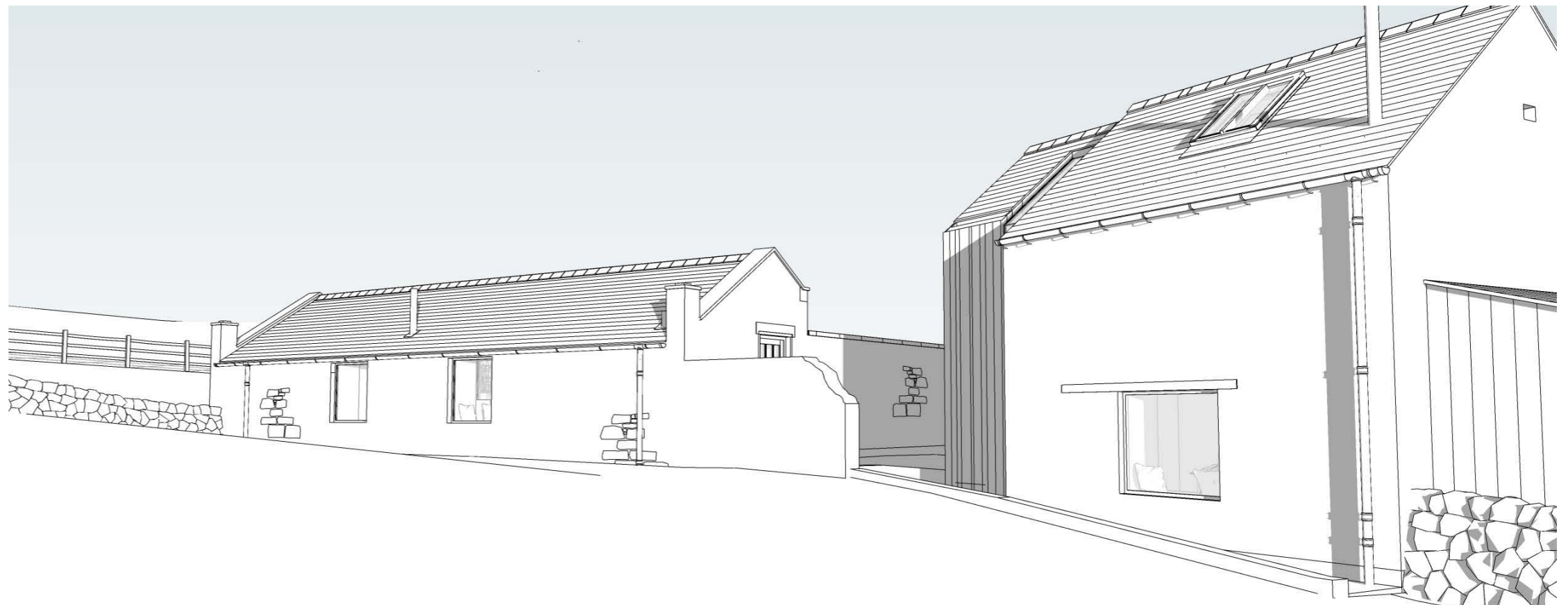


Fig.25 Proposed frontage - scale

# 4.0

## APPEARANCE - Keepers Cottage



Fig.26 3D visual of the property on approach from the road (for illustrative purposes)

The appearance of the cottage extensions both front and back are complimentary to the existing building. The new side addition matches that of the existing front facade (fig 26) and maintains the look and feel of the front facade from the access road. A deep setback to the front of the side extension provides adequate relief to maintain the hierarchy of the front facade (fig 27). The eaves line of roof and dormer window match that of existing.

The New gable facade (fig 28) of the side and rear extensions mirror the existing with the addition of a complimentary drop in height to the ridge line. The protruding roof lines match that of the existing. Rain water goods are to match that of the existing.

New fenestration to the gables reflect the openings of the existing but remain simple to clearly distinguish old from new without over complicating the facade, a method used on both the out buildings. The two gable openings are installed with grey frame windows to further simplify the facade maintaining emphasis on the principle facade.

The following page illustrates four additional views of the property, fig 29 shows how the simplicity of the original rear facade is re-introduced into the new additions. The drop in roof lines and exposure of gables maintains the extent of the original building extent with the new additions in place.

The new dormer to the rear replicates the front roof dormers, the new dormer to the rear helps to break up the mass of the roof and provides complimentary interest to the rear roof scape with out formalizing the appearance (fig 30).

Figure 31 illustrates the extent and appearance of the new external porch and entrance. The existing roof line is maintained and extruded to provide shelter from the elements while the gable end is exposed with timber post and frame taking inspiration and design from the existing sun-room.

The new rear main entrance door location is welcoming and in-keeping with building within the area. The existing opening is in-filled with stone to match with a new window. This will maintain daylight into the space (kitchen) while enhancing this corner of the building in a complimentary way. Figure 39 shows that the new additions to this side are light and barely noticeable from the road.



Fig.27 3D visual of the property - side extension (for illustrative purposes)



Fig.28 3D visual of the property - new gable elevations (for illustrative purposes)



Fig.29 3D visual of the property - new gable elevations + rear facade (for illustrative purposes)



Fig.30 3D visual of rear of property from new parking area (for illustrative purposes only)



Fig.31 3D visual of front entrance of property with new porch canopy (for illustrative purposes only)



Fig.32 3D visual of front of property (for illustrative purposes only)

# 4.0

## APPEARANCE - The Bothy



Fig.33 3D visual of the property on approach from the road (for illustrative purposes)

The appearance of the bothy, while extended with a small addition, retains its appearance with new grey framed door and window to blend the frame with the glass minimising the effect of the new window and door on the overall composition of the front facade.

The existing adjoining side shed will be re-clad with timber boarding as existing to maintain its lifespan and use. The appearance of the shed is in-keeping with the family of buildings and is of low hierarchy.

The new extension (fig 35) is similar in appearance to that of the side shed but over two storeys to allow for the upper accommodation. The vertical timber cladding will age to a silver grey to blend in with its natural environment. No additional windows have been introduced to the gables or the front facade, this is to honour the original building form and appearance from the road. The rear facade is not visible from the road and provides private views and natural daylight into the new addition through a slot full height window, the verticality of the opening allows for exposure of the original side gable providing visual separation between old and new.

Attention to details such as concealed rainwater goods of the addition helps to minimise the impact of the new addition so that it remains subservient to that of the original building.

A new opening is provided to the rear (fig 33), to allow for private views of the field. The new opening matches that of the two new openings of the kennels. Grey frame window as illustrated maintains the simplicity of the new opening and subtly compliments the facade with further interest.

Landscaping around the bothy is altered with a small stone retaining wall below ground level as illustrated with simple gravel around the perimeter. The bothy still visually remains nestled within the carefully adjusted landscape so the appearance and setting is maintained.



Fig.34 3D visual of the property - side extension (for illustrative purposes)



Fig.35 3D visual of the property - new gable elevations (for illustrative purposes)

# 4.0

## APPEARANCE - The Kennels

The appearance of the kennels remains as existing with the addition of 3 new simple openings which compliment the building and provide function to make the proposed spaces work. The façades are to be carefully restored and areas such as the damaged water-table repaired to make good. A new roof will be installed with slate to match that of existing.

The existing openings are updated with new window and doors as existing providing improved access and suitability for use.

New openings are installed with grey frame windows which match that of the new bothy opening and cottage gable openings so they appear unified and as a family of components. Architectural design which mirrors the methodology of the original design.

The new opening to the front is private and the full extent of the opening is visually blocked from the road and front elevation by retention and restoration of the existing kennel yard compound walls and railings. The opening provides access and connectivity to the yard space (kennel amenity) providing a unique experience to the guests. The new opening would also provide easier access for wheelchair users allowing for an improved inclusive guest facility.

The charm of the original building is maintained and the use brought up to date so the existing appearance of the building does not degrade further.

Landscaping is simple with the yard areas restored with new stone paving which will minimise maintenance and provide private space for users to enjoy.



Fig.36 3D visual of the property on approach from the road (for illustrative purposes)



Fig.37 3D visual of the property - side extension (for illustrative purposes)



Fig.38 3D visual of the property - new gable elevations (for illustrative purposes)

# 4.0

## APPEARANCE - Setting



Fig.39 3D visual of the property - driveway approach (for illustrative purposes)

The overall setting of the site and its buildings retains the existing look and feel of the site while bringing new opportunities to the site through the use of the restored/adapted outbuildings.

New interventions and extensions of the existing buildings provides a cohesive design. The proposed works and additions are subtle and in-keeping with the setting and barely noticeable from the roadside apart from the cottage side extension which carefully balances the overall mass of the facade enhancing the street frontage without being overpowering.

The buildings naturally nestle within their environment and where new interventions are created to improve the use of the buildings they are understated and complimentary to the site providing a carefully consider approach which has been explored with a planning consultant on behalf of the Northumberland National Park Authority.

Boundaries and landscaping will remain as existing or repaired to maintain the soft edge of the site to naturally maintain the visual amenity.



The proposals should be well received as the development enhances the site and allows for potential new visitors to enjoy and experience the natural beauty of the area. While the existing cottage amenity remains the same and unchanged, visitors will remain private and contained with both the Bothy and Kennels enjoying their own private amenity space.

The Bothy will allow for guests to use the adjacent private field space as a direct amenity and the Kennels will enjoy the adjoining yard space of the kennels. This will mean that any use of the outbuildings as holiday lets will be managed within the site to maintain the existing visual amenity and appearance of the site from the main road.

Fig.40 3D visual of the property - view from top corner of field within site boundary (for illustrative purposes)



Fig.41 3D visual of the property - driveway approach with outbuildings in distance (for illustrative purposes)



Fig.42 3D visual - aerial view of turning head and discrete parking area (for illustrative purposes only)



Fig.43 3D visual - aerial view of turning head and discrete parking area (for illustrative purposes only)



Fig.44 3D visual view back down drive from turning head (for illustrative purposes only)



# 5.0

ACCESS



Existing vehicular site access is maintained with the addition of new parking spaces within compound of the field, this will reduce the visual impact of parked cars significantly from the road side as the field is surrounded by a natural stone wall.

Existing parking on the site is provided on the long driveway and a total of 4 private spaces are currently provided however the numbers are compounded by back to back parking which is not ideal for visitors, access or maintenance.

The parking strategy has been developed with the recommendations of our planning consultant / Pre-application. A total of 4 parking spaces are provided with associated turning space to allow users to exist the site head on. The parking area within the field will provide the following parking;

- x2no. private spaces for the main dwelling - Keepers Cottage
- x1no. private spaces for guest use - The Bothy
- x1no. private space for guest use - The Kennels

All of the above spaces are located safely within the parking area which in turn will improve the visual appearance of the property from the front and visual amenity. The clear driveway will provide suitable access for maintenance, visitor access and fire tender / emergency access.

Refuse access will be as existing with collection by the road side.

Pedestrian access is improved by clearing the driveway of parked vehicles. Access to the main dwelling - Keepers Cottage will be as existing with no change. Access to the Bothy and Kennels are from a path up to the accommodation via the parking area. Hard landscaping is kept to a minimum to maintain the natural appearance of the site.

Trees are retained as existing and maintained accordingly as existing.

Wheelchair access is possible with the proposed works. While wheelchair access is possible within the cottage, the side extension will provide a private snug which can be used as a ground floor bedroom making the cottage inclusive and improving the long term life use of the cottage for the owners. Wheelchair access is provided within the kennel proposal, the new opening to the front allows easy access and opportunity for improved turning within the space and level access directly into the private yard amenity space.

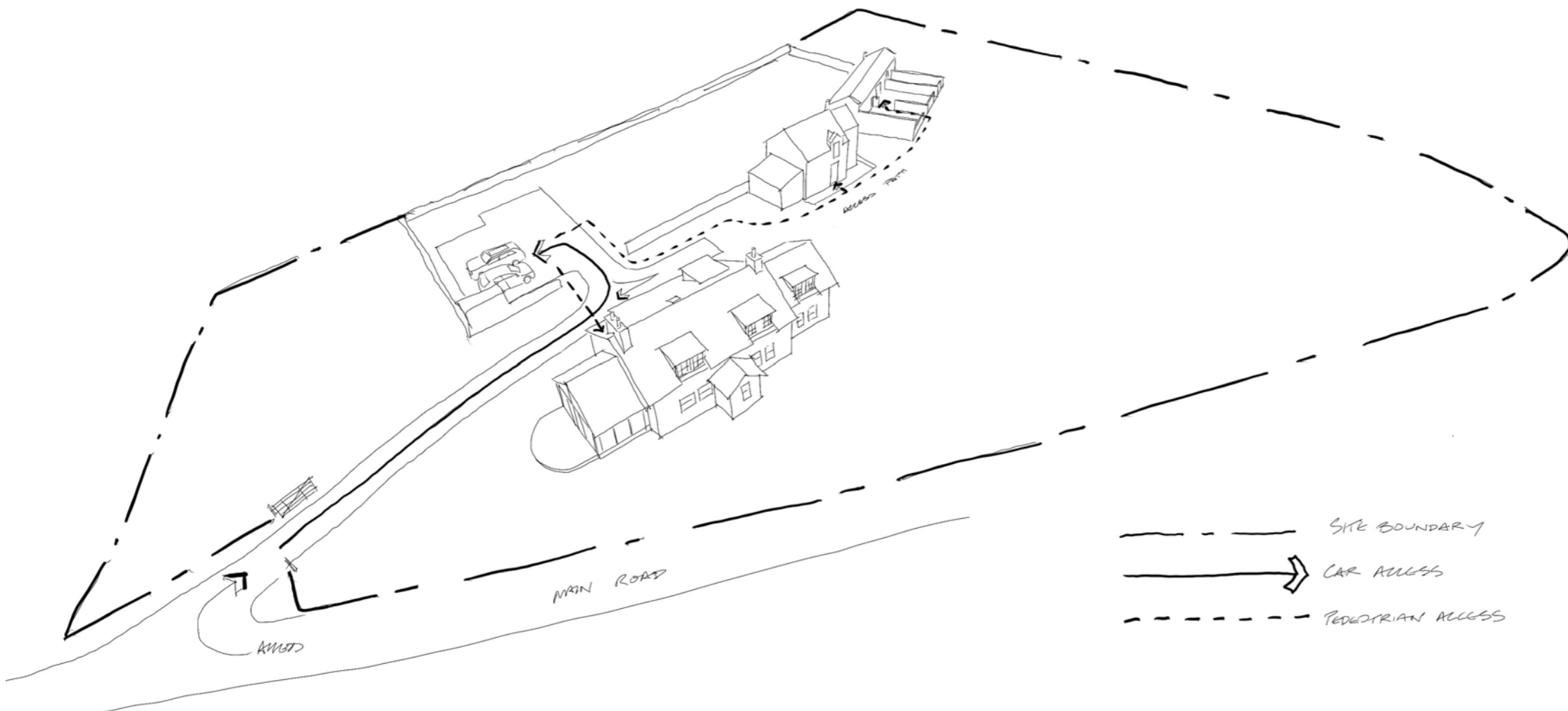


Fig.46 Diagram to illustrate access

# 5.0

## ACCESS

### BIN STORES

Bin store location is as per existing which is located to the side of the driveway gate. Provision has been made for a suitable binstore enclosure as formally requested by the planning department. The new enclosure is of timber construction with a natural finish.

The bin store enclosure is designed to completely shroud the wheelie bins with a top lift trapdoor to access the wheelie bin when filling with waste/recycling. A front hinged door to each compartment provides access for bin removal when the bin needs to be temporarily relocated for bin collection.

The bin store is clad with hit and miss battens to allow for natural ventilation.

The design is sympathetic to the overall holistic design of the site.

A bin store for x3 240ltr wheelie bins is located adjacent the front gate for waste associated with the keepers cottage (main dwelling house) as existing.

Storage for x4 240ltr wheelie bins for the kennels and bothy are proposed between the bothy and kennels as illustrated on the proposed site plan and fig 48. Bins will be temporarily relocated to the front gate on collection day(s).



Fig.47 3D visual - Bin store to front gates (for illustrative purposes only)

### PUMP HOUSE - WATER TREATMENT

In accordance with the spring water supply report by Borehole and Spring Water Maintenance Engineers, a housing is proposed as a lean to shed to the side of the bothy as illustrated in fig 48. Fig 48 illustrates housing for illustrative purposes with similar hit and miss timber battens in natural grey finish to match the bin store(s).



Fig.48 3D visual - Bin store & cycle store for bothy and kennels (for illustrative purposes only)

# 5.0

ACCESS

## CYCLE STORES

Cycle storage for bikes is proposed in accordance with Pre-application located within the field adjacent the parking area for ease of use. This location provides maximum practicality for day to day use and is out of site. Fig 49 illustrates housing for illustrative purposes with similar hit and miss timber battens in natural grey finish to match the bin store(s).



Fig.49 3D visual - cycle store left of existing stone wall opening (for illustrative purposes only)

# 5.0

## ACCESS

### SITE VEHICULAR ACCESS

In accordance with Highways recommendations the vehicular access will require reconstruction to accord with an NCC type 'A' (light vehicle use) construction specification with hard surfacing up to 6.0m from the edge of carriageway, with no loose or unbound materials Permitted within this area to encompass the full turning / crossing point into The site with any gates to be set back at 6.0m from the edge of the Carriageway.

These works will be subject to a Section 184 Agreement pursuant to the Highways Act 1980. Agreement to be obtained prior to vehicular access works commencing.

The planning red line boundary included this area of works which are outside of the site boundary.

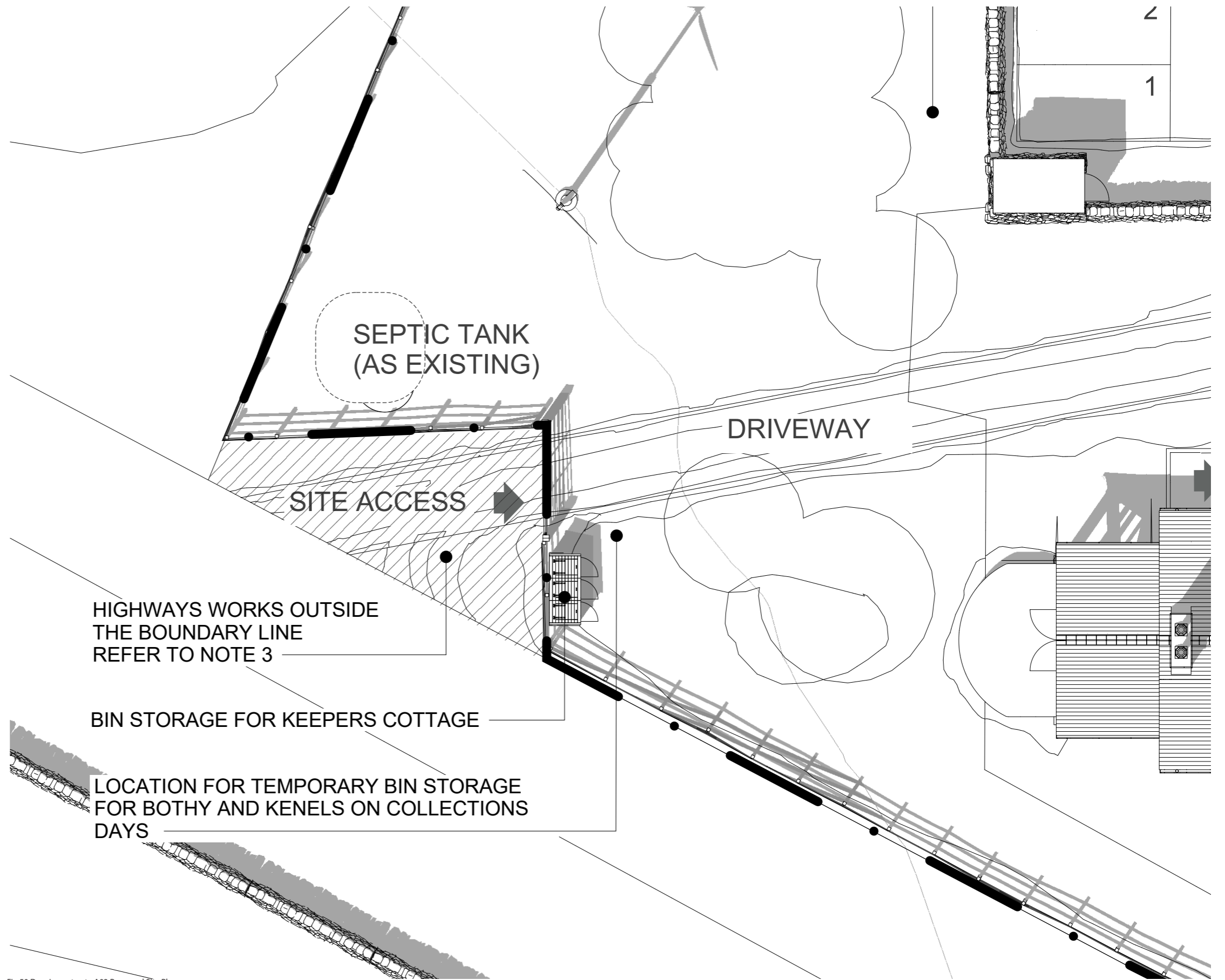


Fig.50 Drawing extract - A03 Proposed Site Plan

## ECOLOGY - BATS & BIRDS

6.1 - Ecology: A bat desktop study and site survey was undertaken in 2019, recommendations were for a further Full Survey which was undertaken in 2020 reference 6076 - Keepers Cottage Bat R04 by E3 Ecology.

No further survey is recommended prior to planning. If work does not commence within 12 months of the last activity survey, updating survey ideally between May and September is recommended.

A Natural England licence will be required for any works that affect bat roosts, and this will require a site visit within 3 months prior to licence submission, and will need to be supported by up to date activity survey data from the season of, or immediately before (where applications are over the winter) the application date.

Proposed compensation strategy in accordance with report;

H.3

### COMPENSATION STRATEGY

The following compensation strategy is proposed:

H.3.1.1

#### BAT BOXES

In advance of the start of works, 6 bat boxes will be erected in adjacent trees, within the site owner's landholding, to provide alternative roost sites. Boxes will be erected as high as possible, ideally at a minimum height of 4m.

Note added to proposed site plan.

H.3.1.2

#### CREVICE ROOST SITES

Potential roosting opportunities will be incorporated into the development, which will include 4 external crevice roosts in stonework and/or under ridge tiles of the kennels and bothy, and retention of access to boxed-in eaves and under ridge tiles around the cottage.

Note added to proposed site plan.

H.3.1.3

#### BAT VOID CREATION

Access routes identified within the cottage will be retained to allow bats to continue to use the loft void.

Note added to proposed site plan.

## DARK SKYS

6.2 - Dark skys: The site is located within the National Park and enjoys dark sky status. External lighting will be motion sensor detected and shaded to prevent light pollution.

In accordance with ecology bat report - external lighting that may reduce bat use of potential roost sites (retained and new) will be avoided. High intensity security lights will be avoided as far as practical, and any lighting in areas identified as being important for bats will be low level (2m) and low lumen. Light spillage to areas used by foraging or commuting bats should be less than 2 lux. No lighting will be installed along the flyways between the roosts and adjacent trees, woodland and foraging areas. Where security lights are required, these will be of minimum practicable brightness, be set on a short timer and will be motion sensitive only to larger objects.

## DRAINAGE

6.3 - Drainage: The existing septic tank is suitable for 5 bedrooms. The proposed scheme has 3 bedrooms in the cottage, 1 bedroom in the bothy and 1 bedroom in kennel to a sum total of 5 bedrooms. A new septic water treatment plant is proposed to replace the existing spetic tank as indicated on the proposed plans.

Refer to proposed drainage works drawing for further information.

## GROUND GAS

6.4 - Ground Gas - in accordance with Environmental Health Officers recommendations, ground gas protection to a CS2 standard in the kennels and bothy will be provided. A note on the proposed plan drawings is provided.

# 6.0

## ADDITIONAL INFORMATION

### PRIVATE WATER SUPPLY

6.5 - Private Water - water is provided to the site by a natural spring.

The following extract is taken from Borehole and Spring Water Maintenance Engineers report, 22.06.2020. Refer to report for details

#### Overview

The proposal is to modernise the existing Keepers Cottage dwelling and develop the Bothy and Kennels into holiday accommodation. Keepers cottage is currently supplied from a Spring water supply in the adjacent field. In order to use this water supply for the whole development I would suggest the following;

#### Existing Spring Collection Tank and Holding Tank

Both of these tanks require a locking system to prevent any contamination and also require fencing to keep livestock out. The overflow on the holding tank requires a new screen to prevent access to vermin etc.

#### Proposed Improvements to water supply.

Because of the Failed Risk Assessment associated with the water analysis I would propose the following;

Locate the existing spring water pipe coming across the site to Keepers cottage and divert it to a new shed to be located in between the Bothy and Dog kennels (possible lean-to shed onto existing building). This shed will house a surface mounted water holding tank (WRAS Approved) to increase the volume of water to satisfy demand at peak times. A tank somewhere in the region of 2000 litres should be adequate to maintain supply. (shed to be frost free and free from direct sunlight).

Water to be pumped on demand to Keepers Cottage, Bothy and Old Kennels using a pressure vessel and surface pump arrangement. A new underground main to be established using 32mm MDPE pipe. This will provide a better supply than the existing "gravity fed" system.

The water will be passed through an Ultra violet Purification unit(u.v.) to kill any bacteria as is currently found in the water, pre-particulate filtration to 5 micron to be fitted before the U.V. which will be matched to the flow of the distribution pump and will have Audible and Visible alarm incase of u.v. bulb failure.

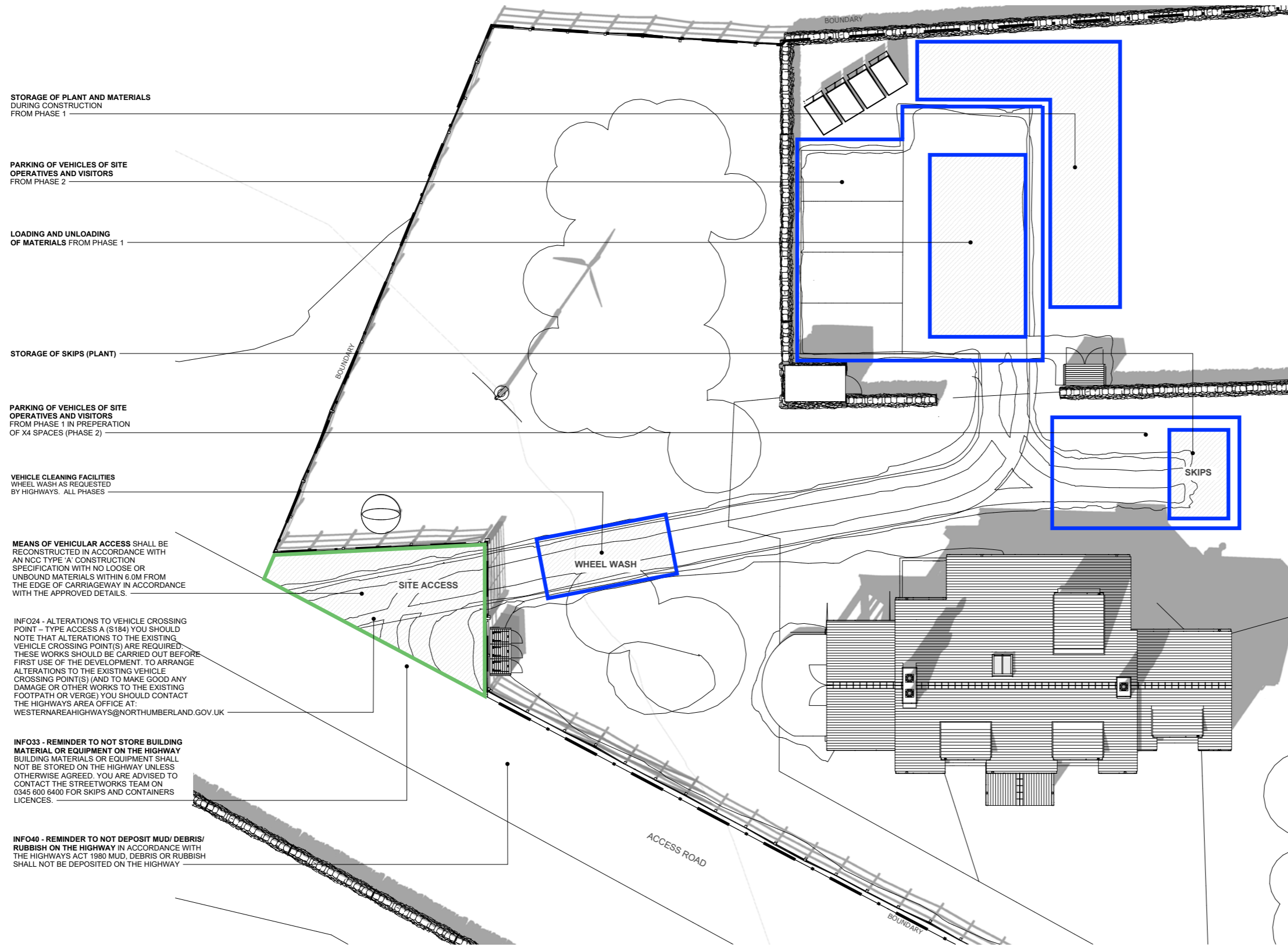
Establish a yearly maintenance plan to service the U.V. and pump and also inspect the spring collection and holding tanks.

All work to be carried out as in accordance with the Private Water Regulations (England) 2016 as amended to achieve a potable, wholesome water supply.

All fittings used to be WRAS approved (Water Regulation Advisory Scheme).

### TREE PROTECTION PLAN

6.6 - Tree Protection Plan - An Arborist survey has been provided along with a tree protection plan and method statement. Works to be undertaken in strict accordance with Pre-Development BS5837 Arboricultural Implications Assessment.



STORAGE OF PLANT AND MATERIALS DURING CONSTRUCTION FROM PHASE 1

PARKING OF VEHICLES OF SITE OPERATIVES AND VISITORS FROM PHASE 2

LOADING AND UNLOADING OF MATERIALS FROM PHASE 1

STORAGE OF SKIPS (PLANT)

PARKING OF VEHICLES OF SITE OPERATIVES AND VISITORS FROM PHASE 1 IN PREPARATION OF X4 SPACES (PHASE 2)

VEHICLE CLEANING FACILITIES WHEEL WASH AS REQUESTED BY HIGHWAYS. ALL PHASES

MEANS OF VEHICULAR ACCESS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH AN NCC TYPE 'A' CONSTRUCTION SPECIFICATION WITH NO LOOSE OR UNBOUND MATERIALS WITHIN 6.0M FROM THE EDGE OF CARRIAGEWAY IN ACCORDANCE WITH THE APPROVED DETAILS.

INFO24 - ALTERATIONS TO VEHICLE CROSSING POINT - TYPE ACCESS A (S184) YOU SHOULD NOTE THAT ALTERATIONS TO THE EXISTING VEHICLE CROSSING POINT(S) ARE REQUIRED. THESE WORKS SHOULD BE CARRIED OUT BEFORE FIRST USE OF THE DEVELOPMENT. TO ARRANGE ALTERATIONS TO THE EXISTING VEHICLE CROSSING POINT(S) (AND TO MAKE GOOD ANY DAMAGE OR OTHER WORKS TO THE EXISTING FOOTPATH OR VERGE) YOU SHOULD CONTACT THE HIGHWAYS AREA OFFICE AT: WESTERNAREAHIGHWAYS@NORTHUMBERLAND.GOV.UK

INFO33 - REMINDER TO NOT STORE BUILDING MATERIAL OR EQUIPMENT ON THE HIGHWAY BUILDING MATERIALS OR EQUIPMENT SHALL NOT BE STORED ON THE HIGHWAY UNLESS OTHERWISE AGREED. YOU ARE ADVISED TO CONTACT THE STREETWORKS TEAM ON 0345 600 6400 FOR SKIPS AND CONTAINERS LICENCES.

INFO40 - REMINDER TO NOT DEPOSIT MUD/ DEBRIS/ RUBBISH ON THE HIGHWAY IN ACCORDANCE WITH THE HIGHWAYS ACT 1980 MUD, DEBRIS OR RUBBISH SHALL NOT BE DEPOSITED ON THE HIGHWAY

## CONSTRUCTION METHOD STATEMENT

Refer to drawing A15 - Proposed Construction Method Statement Plan for further details.

Phase 1 - temporary off street parking adjacent to cottage identified by area with skips noted. This area will provide parking while the carpark area within the field is constructed. Wheel washing facilities will be provided prior to egress of the site as requested by highways. Tree & rootball protection installed in accordance with tree protection plan and arborist report.

Phase 2 - parking provided for vehicles of site operatives and visitors within the parking area within the field

Phase 3 - offloading of materials within the field parking area and stored as indicated within the field. Skip storage behind cottage as indicated on plan

Phase 4 - construction works commence (note requirement for upgrade of vehicular access (area between main road and site boundary gate) to be reconstructed in accordance with and ncc type (a) construction specification.

Phase 5 - driveway topped with finishing surface and made good, surplus site material, temporary plant machinery and site equipment removed from site. Final clean of site access area and remaining spoil to make good.

Phase 6 - project complete

**D+A**