



DELEGATED DECISION REPORT

Application Reference Number	21NP0042
Description / Site Address	Erection of porch and rear facing sunroom at Hott School House, Tarsset, NE48 1LE
Expiry date of publicity / consultations	17 August 2021
Last date for decision	20 August 2021 – Agreed extension to 17 September 2021

Details of Proposal

This application is seeking approval for the construction of a porch to the northern elevation and an extension to the southern elevation of the property for the purpose of a sunroom at Hott School House, Tarsset. Hott School House is a detached two storey property located directly to south of the main road leading from Tarsset to Kielder. The River North Tyne lies to the north. The property is located within the farm steading of Hott Farm. The property is constructed in pebbledash and slate.

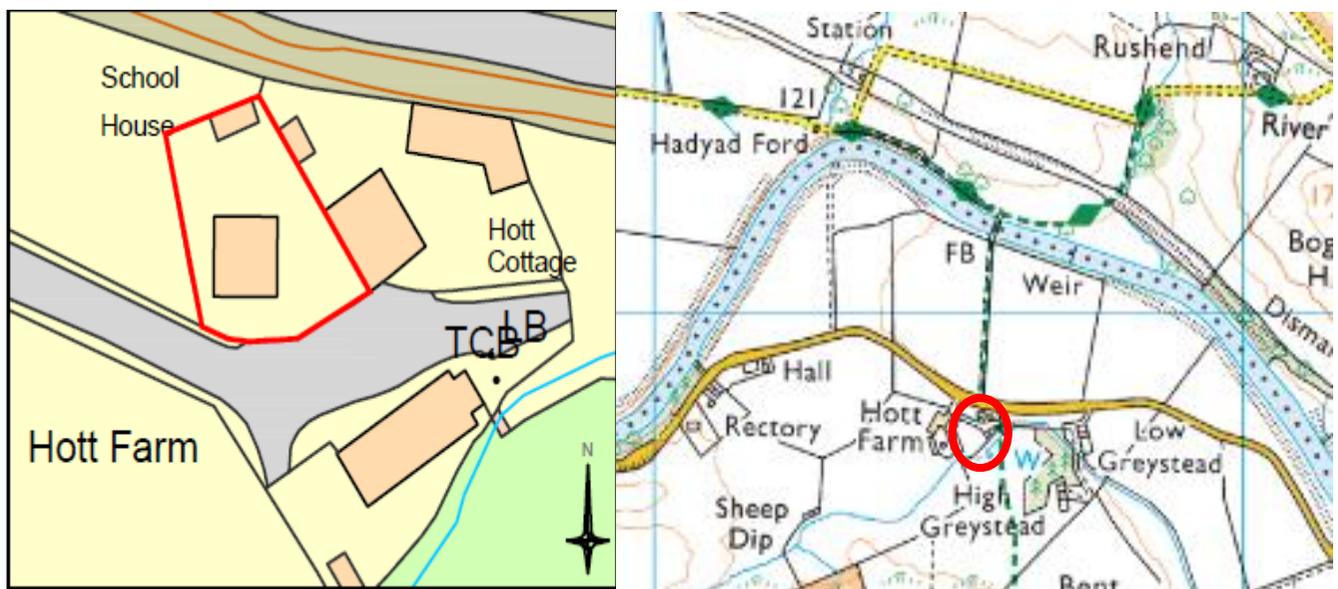


Figure 1: Site Location

The application involves the construction of a porch located on the rear facing northern elevation of the property. The porch would be 3.3m in width, 1.6m in depth and 3.4m in height. The porch would be constructed in pebble dash render walls with a slate pitched roof.

An extension is also proposed across the southern elevation of the property. This would be 3.1m in depth, 4.4m in width and 3.1m in height. The sunroom would also be constructed in pebble dash with a slate pitched roof.



Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2021)

National Planning Practice Guidance

Northumberland National Park Local Plan

Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy DM2	<i>Householder Development</i>
Policy DM10	<i>Habitats, Biodiversity and Geodiversity</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Night Skies</i>
Policy DM14	<i>Historic Landscape Assets and Built Heritage</i>

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

No relevant planning history associated with the site.

Consultation/Representations

Tarset and Greystead Parish Council: No Response Received

A site notice was erected on 6 July 2021. No representations have been received.

Assessment

The key material planning considerations are:

- The principle of the development;
- Design and amenity;
- Impact Upon National Park special qualities



The principle of the development

Sustainable Development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy ST1 of the Local Plan adopts a similar assumption in favour of sustainable development and defines the qualities and criteria which are deemed to represent 'sustainable development'. Paragraphs a), c) & d) of Policy ST1 are of specific relevance as they relate to making '*the National Park a high-quality place to live and work*', '*contribute positively to the built environment by having regard to the site context*' and '*protects landscape character*'. The degree to which the proposals accord with these qualities is discussed throughout the report.

Location of Development

Policy ST4 of the Local Plan sets out the spatial strategy for development within the National Park. The application site, Hott School House, is not located within any of the named settlements set out in policy ST4. It is therefore considered that the site is located within the Open Countryside. In the Open Countryside, amongst others, policy ST4 states that development will be permitted where it '*is supported by other relevant Local Plan policies*'. In this instance policy DM2 which refers to householder development would be relevant. This policy recognises that householder development is acceptable throughout the National Park, subject to the proposal taking full account of the '*character of the local area and the special qualities of the National Park*'. Subject to consideration of the impact on local character and special qualities of the National Park as assessed below, the proposed householder alterations are considered to be acceptable in principle.

Design and Amenity

Design

Local Plan policy ST2 places an emphasis on ensuring new development is of high-quality design. Local Plan policy DM2, which relates to householder development, states that development will be permitted where '*The scale, height, form, position and design of the new development do not detract from the character and form of the original dwelling or its setting in the landscape*' and '*any extensions should be subservient to the main building*'.

The Northumberland National Park Design Guide Supplementary Planning document states that "*successful extensions not only respect character but are subservient to the existing building in terms of height, scale and massing*" and that '*alterations should be done with care and respect to the character of the existing building*'.

Porch

A porch is proposed across the northern elevation of the host property. The porch would be 3.3m in width, 1.6m in depth and 3.4m in height.



The design of the porch originally submitted to the authority measured 3.7m in height, 3.3m in width and 1.6m in depth. Officers considered that the proposed height of the porch would fail to reflect the existing floor heights of the original dwelling. As a result of this, the proposed porch appeared as an incongruous addition that would fail to remain subservient to the existing dwelling. Officers requested that alterations were made to the proposal in order to comply with policy DM2 of the Local Plan.

The roof of the porch was reduced by 0.4m in height. The overall shape, size and scale of the porch is now considered modest in terms of design. The porch would be subordinate to the existing dwelling. The depth of the porch is of a sufficient scale to ensure that it would not dominate the host property and would instead remain subservient.

The fenestration located on the northern elevation of the porch would be of the same design and levels of the existing windows. Stone lintels are also proposed which match that of the existing property. This ensures the proposal harmonises with the host property.

The proposed porch would be constructed in materials to match that of the existing dwellinghouse. The porch would be finished in pebbledash with a slate roof. This would match that of the existing dwellinghouse. The porch would also benefit from a pitched roof which would also match that of the host property. This ensures that the porch would reflect the architectural features of the host dwellinghouse.

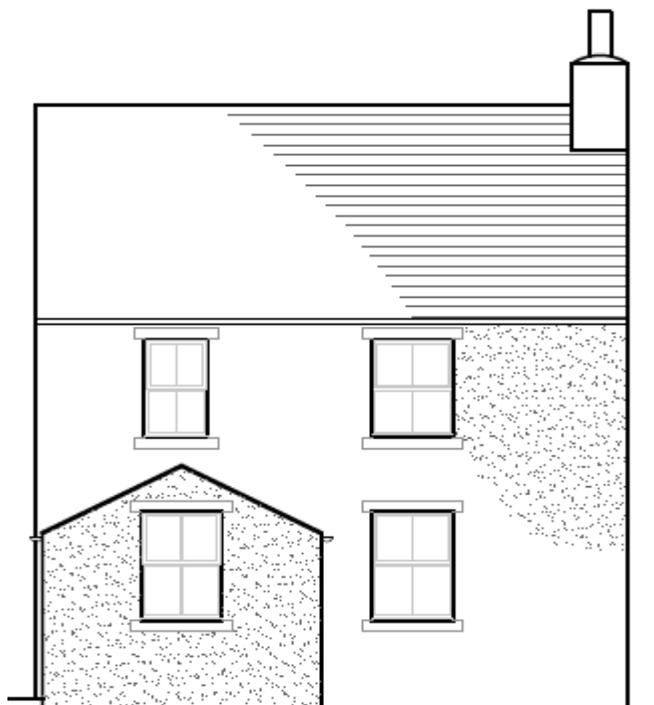


Figure 2: Proposed Porch



Southern extension

A sunroom is proposed across the southern elevation of the property. This would be 3.1m in depth, 4.4m in width and 3.1m in height. Two uPVC windows would be located across the southern elevation of the sunroom alongside two rooflights.

The design of the extension originally submitted to the authority measured 3.5m in depth, 4.9m in width and 3.5m in height. Officers considered that the proposed height of the extension would fail to reflect the original dwelling and the proposed width of the extension was considered excessive and would mean the proposal would dominate the southern elevation of the dwelling. One large window was proposed across the southern elevation. This failed to harmonise with the existing fenestration of the host dwelling. As a result of these factors, the proposed extension appeared as an incongruous addition that would fail to remain subservient to the existing dwelling. Officers requested that alterations were made to the proposal in order to comply with policy DM2 of the Local Plan.

The proposed extension was subsequently altered. The large window on the southern elevation was replaced by two smaller windows. These windows would now reflect the existing lintel and window size of the existing windows at first floor level of the southern elevation.

Similar to the proposed porch, the materials of the extension would match the existing dwellinghouse. Pebbledash and slate is proposed which would ensure the proposal harmonises with the host property. A pitched roof also reflects the architectural features of the original dwellinghouse.

The overall shape, size and scale of the extension now ensures that it would not result in an incongruous addition to the host property and instead remains subservient.

The neighbouring property Hott Cottage has also constructed a conservatory under reference no. 12NP0076. This ensures that developments of this kind already form part of the character of the area and the provision of an extension would not result in an alien feature to the surrounds.

Both the proposed porch and extension are considered appropriate in terms of design and therefore comply with the requirements of policies ST2 and DM2 of the Northumberland National Park Local Plan.

Amenity

Amongst others, Policy ST2 states that development will be permitted where '*The proposal will not have an unacceptable adverse impact upon the amenities of occupiers*' with Policy DM2 seeking to ensure that new householder development '*does not unacceptably affect the residential amenity of neighbouring occupiers or result in adequate levels of amenity for the existing dwelling*'.



When considering potential amenity impacts to neighbouring properties, it is only considered necessary to consider the impacts to both Hott Lodge to the south and Hott Cottage directly to the east.

Firstly, when considering the impacts of the southern extension on Hott Lodge, the development is constructed to the west of the southern elevation of the host property. In addition to this, the extension is setback 22m from the northern elevation of Hott Lodge. The rooflights raise no material impacts of amenity as they are skyward facing. By taking into account these factors it is considered that any amenity impacts to Hott Lodge would be negligible.

In terms of the impacts to Hott Cottage, as previously mentioned the southern extension is located to the west of the southern elevation. This ensures the southern extension is setback 12m from the closest point of Hott Cottage. The sensitive location of the southern extension compared alongside the distance between the proposal and Hott Cottage ensures any amenity impacts would be negligible.

In terms of the proposed porch, as it would not constitute a habitable room, it is not considered that the porch would result in any material amenity impacts.

As described above, both the proposed porch and extension would not raise any material impacts in terms of amenity to either Hott Cottage or Hott Lodge. As a result of this, it is considered that the proposal complies with the requirements of Policies ST2 and DM2 in terms of amenity.

Impact upon National Park Special Qualities

Biodiversity

Local Plan policy DM10 states that the conservation and enhancement of wildlife, habitats and sites of geological interest within the National Park will be given great weight with all development aiming to '*maintain and where appropriate enhance ecological features and recognised geodiversity assets*'.

The proposal is not located within an ecologically sensitive area, would be constructed lower than the existing roof line and would not be knocked through into the main building. On the basis of the above it was not considered necessary to provide an ecological survey. On this basis, the proposals would not result in any material impacts to ecological habitats and as a result would comply with Policy DM10 of the Local Plan.

Landscape

Policy DM11 states that the natural beauty and heritage of the National Park will be conserved and enhanced whilst being responsive to landscape change. To achieve this, new development will need to ensure that '*the visual impact of the development in its immediate and wider setting is minimised through high quality design that reflects local landscape character with particular regard*



to scale, siting, materials and colour' and 'the cumulative and/or sequential landscape and visual effect of development do not detract from the natural beauty of the National Park...



Figure 3: Landscape views when considered from the north

The proposals involve the construction of a porch and the construction of an extension to an existing property. The immediate surrounding landscape of Hott farm is characterised by a small number of residential/agricultural buildings within a rural landscape.

The main public vantage point is the road from Kielder to Lanehead directly to the north. Only the porch would be visible from this location (Figure 3). A relatively minor domestic alteration would reflect the existing local landscape character of the area and would raise no material impact to the landscape value.

The provision of two minor domestic alterations are unlikely to cause a material impact to the landscape value of the area. Given the small-scale nature of the proposals, it is considered that any impact on landscape or visual amenity would be restricted to the immediate area and limited to those discussed in relation to design (above). It is therefore considered that any impact on wider landscape or visual amenity would not be of a magnitude which would warrant refusal of the application and the proposals are not considered to conflict with the requirements of Local Plan policy DM11 or the NPPF in relation to landscape.

Tranquility

Local Plan policy DM11 requires amongst others that *'The level of noise, traffic and light generated as a result of the development during construction and thereafter is minimised and dark night skies maintained'* and *'All development proposals should avoid external lighting where possible. Where external lighting is necessary its design should avoid all unacceptable adverse impacts, or as a last resort mitigate them to...avoid adverse impacts on tranquillity, dark skies.'*

The site is in a sensitive location within the Northumberland International Dark Sky Park. No specific detail of any external lighting which may be required in connection with the proposed southern extension or porch has been submitted as part of the application. A condition restricting the installation of external lighting is not however considered appropriate as the proposals relate to the extension of an existing property adjacent to residential dwellings rather than a new building. It



is however considered appropriate to attach an informative advising the applicant that the site is located in a sensitive location and providing details of lighting suitable for use within the International Dark Sky Park.

As the proposals only relate to minor works to an existing dwelling it is considered that the proposals are unlikely to generate significant levels of additional vehicle movements/traffic or noise. As such, subject to the imposition of an appropriate informative relating to external lighting it is considered that the proposals would be in accord with the requirements of Local Plan policy DM11 and the NPPF in relation to tranquility.

Cultural Heritage

Local Plan policy DM14 states that '*Development affecting historic landscape assets of the National Park will be required to conserve and enhance landscape quality by taking into consideration the elements which contribute to its significance.*'

There are no heritage features within the immediate vicinity of the application site which would be adversely affected by the proposals. As a result of this, the proposal would not have a detrimental impact on any designated heritage assets and would comply with the requirements of Policy DM14 of the Northumberland National Park Local Plan.

Recommendation & Conditions

Grant conditional permission subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form received 2 June 2021
- Location Plan Dwg no. P2103007/03 received 2 June 2021
- Existing plans and elevations Dwg No. P2103007/01 received 2 June 2021
- Proposed plans and elevations Dwg No. P2103007/02 rev C received 27 August 2021

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies ST1, ST2, ST4, DM2, DM10, DM11 and DM14 of the Northumberland National Park Local Plan and the National Planning Policy Framework (NPPF).



Informative Notes

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
 - (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

3. The application site is located within the Northumberland International Dark Sky Park. The [‘Good Practice Guide for Outside Lighting in Northumberland International Dark Sky Park’](#) and an additional guide to unacceptable / acceptable lighting is attached. It is recommended that any external lighting required in connection with the domestic extension is undertaken in accordance with the Guidance.

Background Papers

Application File 21NP0042
EIA Screening Report

	Signature	Date
Planning Officer	Adam Ewart	08 September 2021
Head of Planning & Policy	<i>Susannah Buylla</i>	08/09/2021