

DMC2020-003

APPLICATION FOR PLANNING PERMISSION

Application No: 19NP0093

Proposed Development: Proposed construction of a detached dwelling at The Former Cricket Ground, Harbottle, Morpeth, Northumberland, NE65 7DQ

Applicant Name: Mrs L Searro

Reason for DMC Decision: The application site is owned by a National Park Member.

Recommendation: That Members are minded to grant planning permission with conditions, subject to the completion of a section 106 legal agreement for local needs housing restriction.

1. Introduction

1.1 This application seeks approval for the erection of a single detached dwelling on the former Cricket Ground, Harbottle. The application site is located to the south of the road through the village and sits to the rear (south) of the property known as 'The Old Mill' (Figure 1).

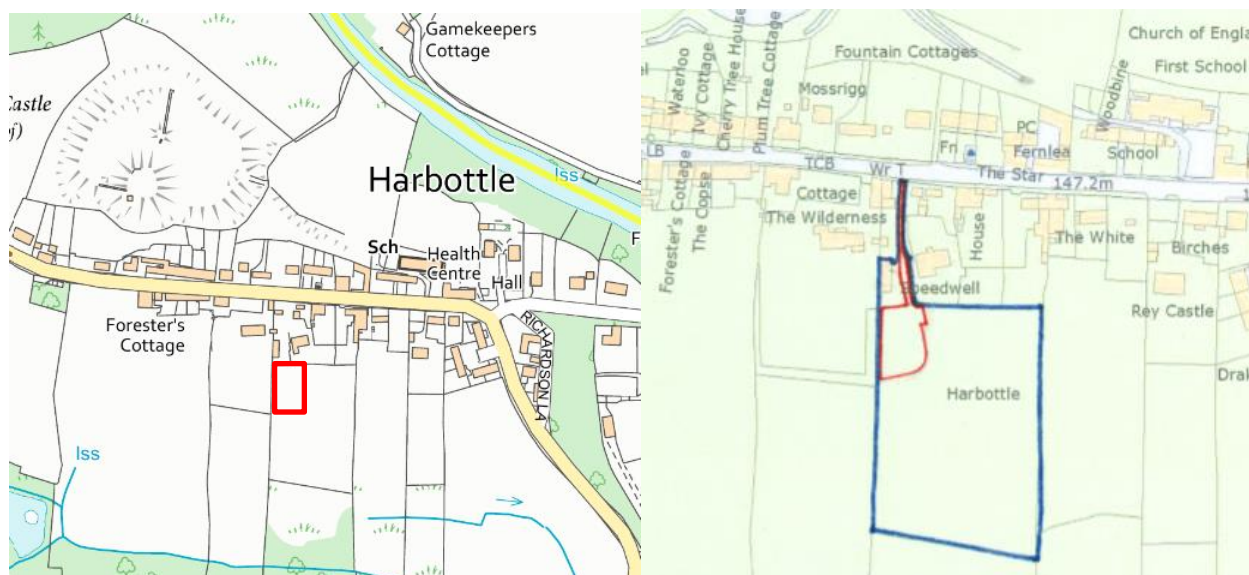


Figure 1: Site Location

- 1.2 The proposal is for the erection of a new dwelling over four different levels with an attached double garage. Access to the dwelling would be directly south from the public highway via the existing access which serves the 'Old Mill'. The access would run between the 'Old Mill' and associated outbuildings before passing through an existing field gate to enter the site (Figure 2).



Figure 2: View in to (left) and from (right) the site

- 1.3 The application site occupies the north-west corner of a larger agricultural field. The design of the building is such that while it would largely have the appearance of a two storey dwelling, the plans indicate that it would be spread over four half levels (Figure 4). This would provide for a playroom / plant / store and WC (level 0), a guest bed / study (level 0.5), kitchen / diner, living room, utility, boot / WC room and double garage (level 1), an en-suite bedroom (level 1.5) and a dressing and two en-suite bedrooms (level 2).
- 1.4 The central two storey element of the building (comprising levels 0, 1 and 2) would have an asymmetrically pitched slate roof. A single storey off-shoot would be located to the northern elevation, housing the double garage. The roof of the garage would adjoin the northern elevation of the dwelling to create a cross-gable and would again be roofed in slate. The southern wing (housing levels 0.5 and 1.5) would have a slightly lower roof height than the central section. It would again be asymmetrically pitched and would be clad in metal. The building would have a maximum length (east to west) of approximately 19m and depth (north to south) of approximately 20m. As the building will make use of the falling site levels, the northern elevation would have a ridge height approximately 6.9m above ground level while the southern elevation would stand approximately 8.2m above ground level.

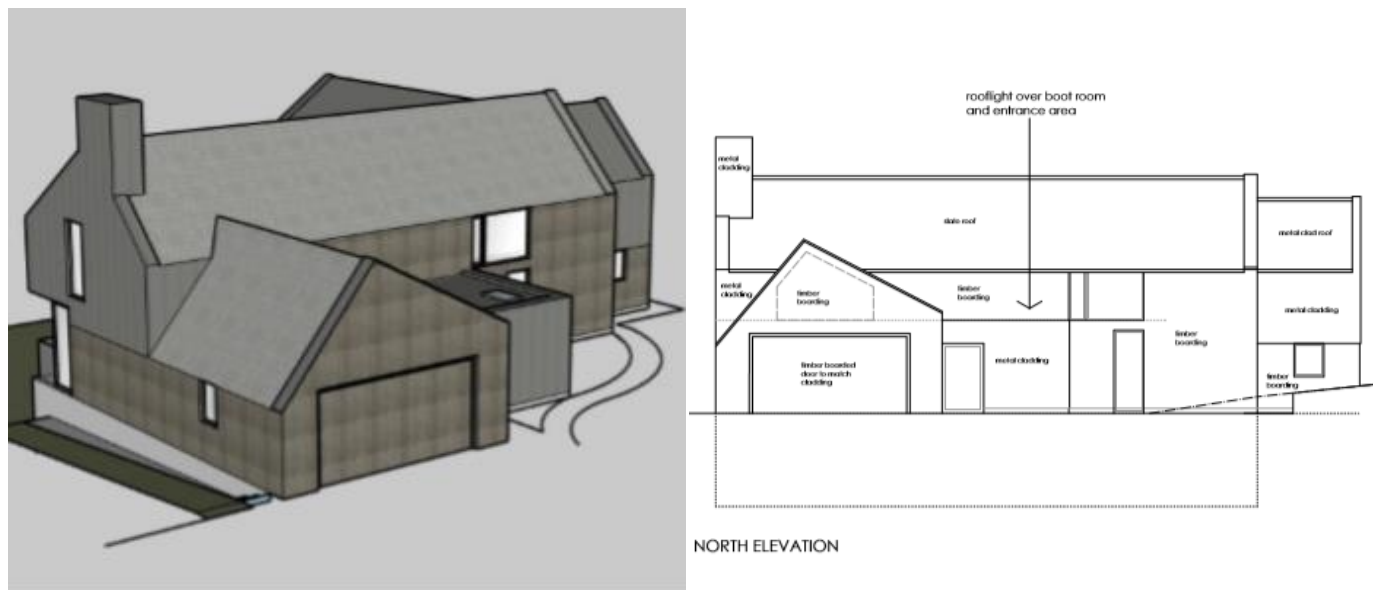


Figure 3: Road facing perspective (left) and elevation (right)

1.5 Externally, the building would be constructed from largely modern materials with some traditional features. Metal cladding would be a prominent feature of each of the elevations, although less so to the northern (road-facing) elevation where there would be a greater use of timber boarding. Timber boarding would also be incorporated to each of the other elevations, albeit it to a lesser degree. The building would also be skirted by a natural stone plinth.

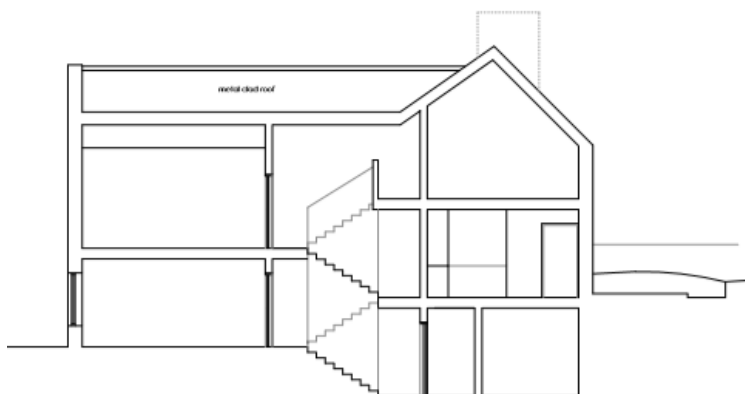


Figure 4: Section illustrating internal levels

1.6 The proposals would make use of extensive areas of glazing, particularly to the southern (rear) elevation. Windows are to be powder coated aluminum to match the cladding. Doors are also to be powder coated aluminum to match the cladding, the only exception being the garage doors which are to be timber, to match the external timber cladding. A



metal clad chimney would be located to the eastern end of the building. Solar panels are to be installed on the roof to the southern elevation.

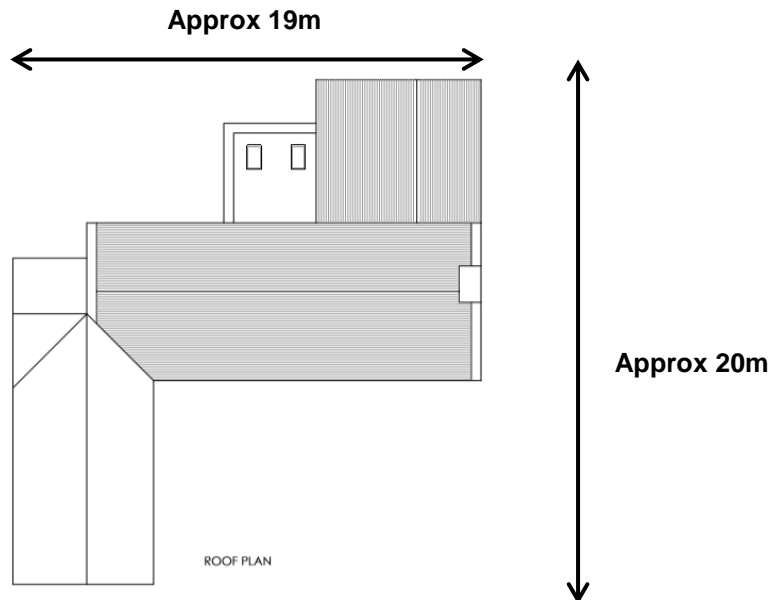


Figure 5: Plan view of building

- 1.7 Externally, there would be an area of hardstanding to the front (north) of the property. This would provide access to the double garage and allow vehicles to be maneuvered within the site. The application would make use of the existing boundary fences to the north and west (although a number of mature trees would be removed from the southern boundary). A post and wire fence is to be installed along most of the eastern boundary although this will merge with a Ha-Ha to the southern end, the Ha-Ha also demarcating the southern boundary of the property



Figure 6: South elevation and perspective view



2. Planning Policy & Guidance

2.1 National Policies

- National Planning Policy Framework (NPPF)(2019)
- National Planning Practice Guidance (2015)

2.2 Local Policies

- **Northumberland National Park Local Development Framework Core Strategy and Development Policies (Core Strategy)(2009)**

Policy 1	<i>Delivering Sustainable Development</i>
Policy 2	<i>Climate Change</i>
Policy 3	<i>General Development Principles</i>
Policy 4	<i>Major Development within the National Park</i>
Policy 5	<i>General Location of New Development</i>
Policy 6	<i>The sequential Approach</i>
Policy 9	<i>Managing Housing Supply</i>
Policy 10	<i>New Housing Development</i>
Policy 17	<i>Biodiversity and Geodiversity</i>
Policy 18	<i>Cultural Heritage</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>
Policy 22	<i>Trees, Woodlands and Forests</i>
Policy 25	<i>Renewable Energy and Energy Efficiency</i>

2.3 Northumberland National Park Local Plan (NNPLP) 2017-2037 Publication Draft Plan

Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy ST5	<i>New Housing</i>
Policy DM9	<i>Transport and Accessibility</i>
Policy DM10	<i>Habitats, Biodiversity and Geodiversity</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Skies</i>
Policy DM12	<i>Trees, Woodlands and Forests</i>



Policy DM14 *Historic Landscape Assets and Built Heritage*

Policy DM15 *Archaeological Heritage*

2.4 The NNPLP has been submitted to the Secretary of State for examination with a Hearing scheduled for 30th January 2020. As the policies within the NNPLP are currently untested, it is considered they can currently be afforded little weight. Paragraph 213 of the NPPF advises that weight should be given to relevant policies in existing plans according to the degree of consistency with the NPPF i.e. the closer a policy in a local plan accords with the NPPF, the greater the weight that may be given to them. The adopted development plan is the Northumberland National Park Core Strategy (2009) and the policies within the Core Strategy are considered to be in accordance with the NPPF and can therefore be given due weight.

2.5 **Supplementary Planning Guidance**

- NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)
- NNPA Landscape Supplementary Planning Document (Landscape SPD)

3. **Relevant Planning History**

There is no relevant planning history in relation to this site.

4. **Consultee Responses**

4.1 **Harbottle Parish Council: No response**

4.2 **NCC Highways: No objection:** Subject to conditions relating to parking, construction method statement and refuse storage and informatives relating to storage of materials, depositing mud / debris / rubbish on the highway and containers required for the storage of waste.

4.3 **NCC Public Protection: No objection:** Subject to relevant conditions relating to contamination, working hours, delivery hours and informatives relating to dust management and statutory nuisance.

4.4 **NCC Historic Buildings Advisor: No objection:** Subject to conditions relating to external materials and boundary treatments.

- 4.5 **NNPA Historic Environment Officer: No objection:** subject to the works being undertaken in accordance with an archaeological watching brief.
- 4.6 **NNPA Ecologist: No objection:** While not wishing to object, disappointed that trees are to be removed. However, a landscaping scheme should be provided as there is a loss on site. A native hedge with standards (away from the immediate surrounds of the house) along the boundary would be suitable and perhaps some native trees to ensure no overall loss of biodiversity in the long term. Ground protection mechanisms and protective fencing should be used to protect the remaining trees.
- 4.7 The ecological report concludes that the trees to be removed have low potential as bat roosts but there is some potential e.g. a cavity and hollow base. Bat provision should be provided on site to ensure no loss of roosting potential. The landscape around the proposed has high potential for bats to be present. Inclusion of bat slates or similar provision in the new property is suggested since any new trees will not be suitable as roosts for many years. Long life bat boxes (woodcrete type) would also be appropriate. The other mitigation in the report such as working methodology for newts and sparrow box should also be made a condition. Subject to appropriate conditions and a suitable landscaping plan, I have no objection.
- 4.8 **NNPA Landscape and Forestry Officer: No objection:** The proposal is located on the periphery of the village but not detached from the current built up area. The choice of traditional and modern materials would not be out of keeping with the setting. When viewed from the key publically accessible receptor sites, the visual effects of the development are not considered to be significant due to the low lying nature of the site and proximity to the existing settlement. The property will not be visually prominent in the landscape.
- 4.9 With respect to the tree survey, observations have been made of the seven trees identified for removal. They are not covered by a Tree Preservation Order (TPO) nor do they merit one being served. Unimpressed by the suggestion in the arboricultural consultant's report that the root protection areas would become compacted as a result of construction traffic as if there was a genuine wish to retain the trees traffic could be restricted from these area. However, four of the trees are ash and as ash dieback is present as a background infection across this part of the National Park, the future for these trees to persist within this landscape setting is threatened. The loss of the birch and elder is not significant and while the loss of the oak is disappointing, it is not thought to be significant. However, given the screening effect and other ecosystem services that these trees currently provide, I would welcome the western boundary of the site being set



out with a native broadleaved hedge, to strengthen the physical boundary over and above that of the current post and wire fence. In addition, while not necessarily set within the hedge, it would be good practice to see at least a like for like number of replacement trees planted on site or on other land owned by the applicant. I would prefer to see this detail as a formal landscape plan, to be submitted as part of the application, rather than left to condition.

- 4.10 With respect to the Dark Skies Park status of the part of the National Park, I could not pick up any detail concerning exterior lighting. A condition should therefore be attached ensuring that any external lighting in connection with the new development is first approved by the Local Planning Authority.

Public Responses

- 4.11 The application has been advertised by a site notice displayed on the 11th October 2019 and notification letters sent to 13 neighbouring properties. In response, one representation has been received objecting to the proposals with a further response raising concerns. The objections / concerns can be summarised as follows:

- The windows overlook my property;
- The trees that border my garden may be disturbed or removed during construction which I have not given permission for;
- Concerned that the building seems large;
- Concerned that as no dimensions have been provided and as the building has a basement level, the house will be too high;
- The foul drainage is stated as mains via a sewage pumping station; would this be noisy and lead to any environmental problem if the pump failed?

5. Assessment

- 5.1 The key material planning considerations are:

- The principle of the development;
- Design;
- Residential amenity
- Impact upon National Park special qualities;
- Highways;
- Drainage;
- Renewable Energy;



- Contaminated Land;
- Other.

The Principle of the development

- 5.2 The National Planning Policy Framework (NPPF) is clear that a presumption in favour of sustainable development is at the heart of decision making. Policy 1 of the NNPA Core Strategy seeks to deliver sustainable development, aiming to ensure that development proposals will conserve and enhance the special qualities of the National Park. The four categories that make up these special qualities are as follows; landscape, ecology, cultural heritage and tranquillity. The impact of the proposal on these categories is assessed below.
- 5.3 Core Strategy Policy 9 states that housing development will be directed to the most sustainable settlements. Core Strategy Policy 5 identifies Harbottle as a Local Centre whereby new local needs development in the National Park should be located. Harbottle has no defined settlement boundaries. While the application site is located within an agricultural field located to the rear of an existing property, it is considered that the site falls within Harbottle, albeit adjacent to the built up area (see consideration of Core Strategy policy 6 below). The proposal therefore accords with Policies 5 and 9 of the Core Strategy. Although it can be given little weight at the current time, policy ST4 of the emerging NNPLP adopts a similar approach to the location of new development with Harbottle continuing to be identified as one of the Local Centres which will be the focus for new development.
- 5.4 A sequential approach to development within settlements is set out within Core Strategy Policy 6. This policy aims to direct new development to the most sustainable sites. In this instance, Officers consider that the application falls within category 4 as an '*Other suitable sites adjacent to the built up area of the identified settlement*'. It is therefore incumbent on the applicant to demonstrate that there are no sites falling within categories 1-3 which would be reasonably available to them.
- 5.5 In an attempt to demonstrate this, the applicant has advised that following a search there are no alternative properties of a suitable size on the market either within Harbottle or a 3 mile radius, the area of search having been restricted to three miles due to the need to be located close to applicants mother. Conversion of the bothy adjacent to the site has also been discounted as it is used by the applicant's mother for storage and, without significant alteration and extension, would not provide suitable family accommodation. Any significant alteration of this building would be restricted by its location and would also



likely harm the character of the building and potentially impact on the living conditions of the resident of 'The Old Mill', given its close proximity to this property. On balance, Officers are therefore satisfied that sufficient evidence has been provided to demonstrate that no land / buildings falling with categories 1 or 3 are available to the application which would meet the need for a family home.

- 5.6 The LPA are aware of one site within the village which would fall within Category 1 or 2, this being a site within Harbottle with lapsed planning permission for a new dwelling. However, this site is in private ownership and therefore could not be reasonably viewed as a viable option for the proposed dwelling.
- 5.7 As Officers are satisfied that no other sites within categories 1-3 are readily available to the applicant, the proposed site is considered to be acceptable in principle for housing development when assessed against Core Strategy Policy 6. While it can be given little weight at this time, the sequential approach to development advocated by policy 6 is not required by policy ST4 of the emerging NNPLP.
- 5.8 To promote sustainable development in rural areas, paragraph 78 of the NPPF advises that housing should be located where it will enhance or maintain the vitality of rural communities, for example by supporting and contributing towards the sustainability of local services. In line with the NPPF, Core Strategy Policy 10 requires housing development to be located within settlements that have adequate services. It is considered that Harbottle contains adequate services, which are likely to be supported through the addition of a dwelling; this would also support services provided within nearby settlements.

Local Needs Housing

- 5.9 Core Strategy Policy 10 requires all new residential dwellings within the National Park to be restricted to people meeting the National Park Authority's local need criteria. This definition forms part of the supporting text to Policy 10. Officers are satisfied that the applicant has demonstrated a local need under criteria ii) i.e. '*People who do not live in the National Park but have a current and long standing link to the community including a previous period of residence*'. This is on the basis that the applicant has stated that her grandparents and parents both lived and worked within the Coquet Valley and her brother and mother currently reside within the National Park. The application has partly been forwarded on the basis that the site is adjacent to her mother's property, the close proximity affording the applicant the opportunity to assist her mother in her later years.



5.10 The occupation of the proposed dwelling is required to be restricted through a planning obligation (in the form of a legal agreement under Section 106 of the Town and Country Planning Act) in order to prevent subsequent sale or letting to persons without a local need and to prevent the property from being used as second or holiday home. The Community Infrastructure Levy Regulations 2010 state that a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is:

- i. Necessary to make the development acceptable in planning terms;
- ii. Is directly related to the proposed development; and
- iii. Is fairly and reasonably related in scale and kind to the proposed development

5.11 Having regard to the above tests, the requirement for a Section 106 obligation is reasonable, will meet these tests and is required to secure local needs housing provision.

5.12 The National Park Authority, in pursuance of its statutory purposes, has a duty to foster the social and economic wellbeing of local communities. The requirement to restrict new housing stock for those meeting the local need criteria is an important and positive way of achieving this. Subject to a legal agreement being agreed, signed and executed to restrict the proposed dwelling for those meeting a local need in perpetuity, it is considered that the proposal would accord with Policy 10 in this respect.

5.13 Policy ST5 of the emerging NNPLP removes the local need criteria for new housing located within the Local Centres identified by policy ST4 and instead replaces it with a 'principal residence' requirement which would be achieved via condition rather than a legal agreement. However, as this policy has currently not been tested by formal examination, Officers consider it cannot presently be afforded sufficient weight to warrant a change to established Core Strategy policy and it would be premature to attach a principal residence occupation condition.

Design

5.14 Core Strategy Policy 3 requires new development to demonstrate 'high quality, sustainable design and construction, which protects and enhances local character and distinctiveness through careful integration with the existing built form'. Support is given to development which is '*sympathetic to existing buildings in terms of scale, height, massing, siting, form, materials and colour*'. Policy ST2 of the emerging NNPLP places a similar emphasis on ensuring high quality design although this can presently be given little weight.



- 5.15 The Local Development Framework Design Guide Supplementary Planning Document, in relation to new development, stresses the importance within settlements of ensuring that the rhythm and form of existing development is considered as is the height, scale and massing of the new building in relation to surrounding buildings.



Figure 8: New dwelling in context of existing

- 5.16 The proposed development is very much focused on contemporary rather than traditional design. The use of modern materials (metal and timber boarding) and the angular form of the building very much identifies it as being of its time. Within the '*Planning, Design and Heritage Statement*' the applicant notes that the proposals '*are intended to reflect the principal design features of the local vernacular architecture: pitched roofs with prominent chimneys, 'heavy' buildings firmly bedded into the natural topography of the landscape..*'. The Statement then goes on to note that '*However, this is not a building of the late 18th / early 19th Century and as such, we are proposing to reference these features in a way which clearly reflects the more contemporary nature of the development*'.
- 5.17 The NCC Historic Buildings Advisor has been consulted on the proposals due to her expertise in matters relating to design. The Advisor provided detailed comments at the pre-application stage and has advised that these comments remain valid in relation to the planning application. The Advisor noted that '*The proposed dwelling takes a modern approach and is of high quality in terms of its design and materials. It sits well within the landscape setting and responds well to its surrounding*'. The Advisor did however suggest some minor amendments which are discussed below.
- 5.18 In consideration of the scheme, while the Advisor deemed the use of natural timber cladding and metal cladding to be acceptable, it was recommended that the plinth should be of natural stone. The applicant has amended the proposals to incorporate a stone plinth.
- 5.19 The Advisor also recommended that the roof covering should be slate rather than metal cladding. While final scheme design retains metal cladding to the roof on some



elevations, the most prominent road facing (northern) elevation is largely slate as is the southern (rear) elevation. The Advisor noted that doors should be timber with windows either aluminium or timber in dark grey to minimise their impact. Powder coated aluminium (to match the cladding) is to be largely used for both the doors and windows. However, the prominent garage doors are to be timber clad. Notwithstanding the comments provided at the pre-app stage, the Historic Buildings Advisor has raised no objection to final scheme design but has recommended that a condition is attached to any approval which may be issued requiring details of the external materials to be submitted to the LPA for approval.

- 5.20 While it is accepted that the proposals adopt a very modern approach to design, in the site context with the building sitting behind existing development, it is considered to be acceptable. The development is considered to be of high quality, contemporary design and the use of minimal hardstanding and low key boundary treatments (post and wire fence / Ha-Ha) helps to bed it within the landscape. In addition, by adopting a modern design which makes use of the levels of the site (Figure 8), the prominence of the building is reduced when viewed from the main visual receptor (see comments in relation to landscape), the road to the north. If the property had been located in a more prominent position towards the road, it is considered that a scheme which more directly referenced the existing vernacular would have been required. However, in this location where there are no direct architectural cues to follow, a striking modern design, rather than a pastiche of existing traditional buildings, is considered to be both acceptable and preferable.
- 5.21 In addition to external materials, the NCC Historic Buildings Advisor also recommended that a condition be attached requiring full details of the proposed boundary treatments to be provided prior to commencement of development. This information has subsequently been provided as part of a landscape plan. The plan shows the provision of a low-key post and wire fence to the eastern boundary and part of the southern boundary. A Ha-Ha is to be located to the southern boundary merging with the post and wire fence to the east. Existing boundaries to the north and west would be retained. It is considered that given the agricultural nature of the site, the proposed boundary treatments are appropriate. It is however recommended that a condition is attached ensuring that the landscaping scheme, including boundary treatments, is delivered in accordance with the submitted details.

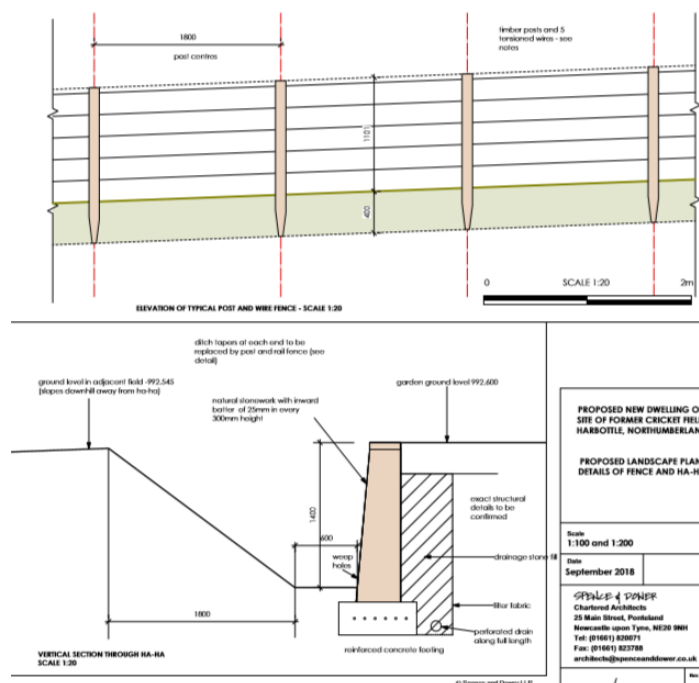


Figure 9: Proposed boundary treatments

5.22 A concern has been raised by a neighbouring resident that the development will be 'too high'. However as the site slopes down from the road (Figure 8), while acknowledging that the proposals are for a substantial two storey dwelling, through sensitive use of site levels it is not considered that the building would be too high, large or otherwise dominate its setting. A condition is however recommended to ensure that the finished floor levels are as per the submitted plans. For the reasons detailed Officers therefore consider that the proposals accord with the requirements of Core Strategy policy 3 and the Design Guide. It is however recommended that should Members be mindful to approve the application, a condition should be attached requiring the submission of samples of the materials to be used on the exterior of the building prior to the commencement of the development.

Residential Amenity

5.23 Amongst others, Core Strategy policy 3 notes that new development will be permitted when '*amenity is not adversely affected in terms of visual impact, pollution, noise and waste*'. Although it can currently be afforded little weight, Policy ST2 of the emerging NNPLP advises that, again amongst others, that development will be permitted where it will not have '*an unacceptable adverse impact upon the amenities of adjoining occupiers*'.



- 5.24 In this instance the proposed dwelling sits behind, but offset from the rear of 'The Old Mill'. While noting that the application site is in the ownership of the resident of the 'Old Mill', consideration needs to be given to the impact of the proposal of the residential amenity of not just current but also future occupants of the properties.
- 5.25 At the closest point, there is a separation distance of approximately 18m between the two properties. However there is no direct facing with there being a distance in excess of 20m between windows to the rear (south) of the 'Old Mill' and the north (front) of the proposed dwelling. On this basis it is considered that there would be no unacceptable overlooking or loss of privacy between these properties. Although the proposed dwelling would be two storey and the 'Old Mill' is single storey, site levels (Figure 8) mean that it would not be significantly higher than the 'Old Mill' and therefore is unlikely to lead to any unacceptable loss of daylight or sunlight.
- 5.26 The access to the new dwelling would be immediately to the west of the 'Old Mill'. As such, vehicles accessing the property will drive in close proximity to the 'Old Mill' with the potential for additional noise and visual disturbance. However, as the proposals are for the erection of a single dwelling, it is not considered that disturbance arising from increased traffic movement would be at a level which would warrant refusal of the application.
- 5.27 The proposed dwelling is located just to the east of the boundary with the neighbouring property, 'Wilderness'. This property sits within a substantial curtilage with the southern elevation of the proposed dwelling and rear elevation of 'Wilderness' being at a distance in excess of 30m and offset from each other. Given the distances involved, the offset between the two buildings and as existing buildings and proposed / existing boundary treatments will provide a degree of screening between the two properties, it is not considered that the proposals will lead to any unacceptable loss of daylight or sunlight or unacceptable overlooking / loss of privacy between the two dwellings.
- 5.28 The occupier of 'Wilderness' has however raised an objection on the grounds that the proposed dwelling would overlook his property, particularly the adjacent garden area. The plans as submitted showed a clear glazed window to the western elevation of the property serving bedroom 1 (level 1.5) facing directly towards the garden area of the neighbouring property. The existing / proposed boundary treatments would not prevent overlooking of the neighbouring garden area from this window. The applicant was made aware of the objection and in response has submitted revised plans. The window to the west elevation has now been amended to show it as obscurely glazed. It has also been confirmed that the windows serving the en-suite and dressing room to the west elevation

will also be obscurely glazed. As the changes to scheme design mean no primary windows with clear glazing would now face towards the neighbouring property (Wilderness) it is considered that any loss of privacy / inappropriate overlooking would not be of a magnitude sufficient to warrant refusal of the application. The occupier of the 'Wilderness' has been re-consulted on the revised plans but has not provided any further comment.

- 5.29 As there are no other residential properties other than the 'Old Mill' and 'Wilderness' within 60m, subject to an appropriate condition ensuring that the windows to the western elevation are obscurely glazed and retained as such in perpetuity, the proposals are considered to accord with the requirements of Core Strategy policy 3 in this regard.



Figure 10: View towards 'Wilderness' from the application site

- 5.30 The occupier of 'Wilderness' has also raised concerns about the loss of trees to the shared boundary. While noting the concern, the only trees to be removed fall within the ownership of the applicant. It is also noted within the 'Planning, Design and Heritage Statement' that while there is a tree close to the boundary in the neighbouring property, the scheme has been designed to ensure that there would be no impact on its root protection zone. Further consideration is given to the loss of these trees in relation to landscape and biodiversity (below).

Impact Upon National Park Special Qualities

Landscape

- 5.31 Core Strategy Policy 20 states that '*The natural beauty and heritage of the National Park will be conserved and enhanced whilst being responsive to landscape change*'. Policy DM11 of the emerging NNPLP places a similar emphasis on the conservation and enhancement of the natural beauty and heritage of the National Park although this can currently be afforded little weight.
- 5.32 As noted, the application site is located to the rear of the property known as the 'Old Mill' and would be accessed via the existing access which serves this property. Given the location, views of the property from within Harbottle would largely be restricted to the site entrance with existing buildings / woodland largely obscuring views of the property from any other public vantage point within / to the edge of the village (Figure 11). Although the proposals will result in the removal of trees to the western boundary, as they are only visible from the application site and a small number of immediately neighbouring properties, it is considered that the impact on landscape would be minimal outside of the immediate area.
- 5.33 Existing development to the north and woodland to the south would largely screen the development when viewed from more distant visual receptors including roads / rights of way. Any fleeting views of the development afforded from these locations would however be set against the backdrop of the existing development within the village. As such, and given that the development is set at a lower elevation than most of the development within the village, it is not considered that the proposal would be unacceptably prominent or have any harmful impact on landscape when viewed from these more distance receptors.
- 5.34 The NNPA Landscape and Forestry Officer has been consulted on the proposals. The Officer has noted that the development is on the periphery of the existing curtilage of the village but not detached from the current built up area. He has noted that the building is a blend of traditional (slate) and contemporary materials (metal and timber cladding) which are normally associated with farm buildings and which the Officer does not consider would be out of keeping with the landscape setting. The Officer has also noted that when viewed from key publically accessible receptor sites, such as the minor county road that passes through the village and to the east, or from the Access land on higher ground to the south, the visual impacts of the scheme would not be significant due to the low lying



nature of the site and proximity to the existing settlement. The Officer has concluded that he does not consider that the property would be visually prominent within the landscape.



Figure 11: View from road to east showing existing woodland screening

5.35 On the basis of the above it is not considered that the proposal would have any significant impact on landscape or visual amenity and is therefore considered to accord with the requirements of Core Strategy policy 20.

Trees & Biodiversity

5.36 Core Strategy policy 17 states that the National Park Authority will '*protect, enhance and restore biodiversity and geological conservation interests across the National Park*'. Although it can currently be afforded little weight, policy DM10 of the emerging NNPLP similarly supports proposals which maintain and enhance features of ecological value. While generally more targeted at large scale planting schemes, Core Strategy policy 22: Trees Woodlands and Forests also supports proposals which '*Include native tree planting in appropriate locations where landscaping is required as part of the development*'. Similar support is given to proposals which '*Include native tree planting in appropriate locations where landscaping is required as part of a development*' under policy DM12 of the emerging NNPLP although this can be afforded little weight at the present time.

5.37 In this instance the proposals relate to the provision of a new dwelling within an agricultural field with the proposals showing the removal of a number of trees. The application has been supported by an '*Arboricultural Impact Assessment*' and

'Preliminary Ecological Appraisal' Report and the NNPA Landscape and Forestry Officer and NNPA Ecologist have been consulted on the proposals.

Trees

- 5.38 The 'Arboricultural Impact Assessment' submitted in support of the application notes that seven trees are to be removed to the western boundary, four to be felled for development with three classed as 'unsuitable for retention' due to decay or having serious structural or physiological defects. The trees to be felled comprise 4no. ash; 1no. elder; 1no. silver birch and 1no. oak. While the site plan indicates that a number of trees are to be retained, these are largely to the west of the application boundary, within the neighbouring property. The NNPA Landscape and Forestry has considered the information submitted in support of the application and also assessed the trees on site.
- 5.39 The Landscape and Forestry Officer has noted that none of the trees to be removed are covered by a Tree Preservation Order (TPO) nor does he consider any to be of sufficient merit to warrant a TPO being served. The Officer has however queried the assertion within the report that the root protection areas of the trees would become compacted as a result of construction vehicle movements, noting that measures could be in place to restrict vehicles from these areas. Notwithstanding this comment, the Officer has noted that four of the trees to be removed are ash, and, given the presence of ash dieback as a background infection in this part of the National Park, considers it questionable as to whether these trees could persist in the landscape in the long term. The Officer does not consider the loss of the birch and elder to be significant and while noting disappointment at the loss of the semi-mature oak, again does not consider the loss to be significant.
- 5.40 The Officer has however noted that the loss of the trees will remove the benefits which they currently provide, both in terms of screening and other ecosystem services. The Officer has therefore recommended that a native broadleaved hedge is planted to the western boundary of the site to strengthen the physical boundary over and above that of the current post and wire fence. The Officer has also advised that it would be good practice to see at least a like number of replacement trees planted elsewhere on site or on other land owned by the applicant. The Officer noted that while it would be possible to leave the submission of a landscaping scheme to a planning condition, it would be preferable to have this information submitted up-front and assessed as part of the application. Comments from the Landscape and Forestry Officer were provided to the applicant. In response the applicant has provided a landscaping scheme which shows the provision of a new native hedgerow, with standard trees, along the western boundary of the application site. The Landscape and Forestry Officer has confirmed that he is



suitable as roosts for many years. The Ecologist recommended that either bat slates or similar be incorporated within the fabric of the new building, or, if not feasible, that long life bat boxes (woodcrete or similar) be provided.

- 5.44 In response to the Ecologists request, the applicant has provided a revised site plan showing the provision of a bat box on one of the trees to be retained and a further bat box on the 'Old Bothy', with it stated that these will be installed prior to any trees being removed. Once constructed, a further bat box is to be provided on the new dwelling. The Ecologist has confirmed that this is satisfactory. As such, subject to conditions ensuring the delivery of the bat boxes and also requiring works to be undertaken in accordance with the mitigation strategy detailed in Section 6.5 of the 'Preliminary Ecological Appraisal' Report, it is considered that the proposals would accord with the requirements of Core Strategy policy 17.

Cultural Heritage

- 5.45 Core Strategy policy 18 is supportive of proposals which conserve, enhance and promote the quality and integrity of the cultural heritage of the National Park. Similar weight is given to the protection of historic landscape assets and archaeological heritage by policies DM14 and DM15 of the emerging NNPLP although little weight can be afforded to these policies at the present time.
- 5.46 The application site is in an area of archaeological sensitivity, within the Historic Village Atlas area for Harbottle. The site comprises the former field system associated with the medieval village of Harbottle. Impacts on cultural heritage have been considered within the 'Planning, Design and Heritage Statement' and the National Park Historic Environment Officer has been consulted on the proposals.
- 5.47 The Officer has considered the information submitted and welcomes the assertion that *'there is no intention to alter or obscure any of the existing boundaries'*. The Officer has also referenced an aerial photograph from the Historic Village Atlas which shows the site as a cricket ground and notes that this accounts for the lack of narrow plot boundaries on the site, which, presumably would have been removed to create a level outfield. The Officer has however noted that this does not counteract the potential for below ground archaeological remains to survive in the area for proposed development. As such, while raising no objection to the proposals and noting that sufficient information has been provided to determine the application, the Officer has advised that a condition should be attached requiring archaeological monitoring to take place during the removal of turf and topsoil prior to development.



5.48 Given the known archaeological sensitivity of the site, the imposition of a suitable condition requiring works to be undertaken in accordance with an archaeological watching brief is considered to be both reasonable and necessary to ensure the archaeological interest of the site is suitably recorded. Subject to an appropriate condition being attached to any approval which may be issued, the proposals are considered to accord with the requirements of Core Strategy policy 18 and the NPPF.

Tranquility

5.49 Core Strategy Policy 19 states that 'Development proposals which conserve or enhance the tranquillity of the National Park will be supported'. The main potential for the tranquillity of the National Park to be affected would be through external lighting. The nature and location of the proposal is unlikely to lead to any other significant impact on the tranquillity of the area.

5.50 It is acknowledged that noise will be generated during the construction works. However, this is an unavoidable impact of any new development and will be temporary in nature. Environmental Protection have recommended that conditions are attached to any approval which may be issued restricting the undertaking of noisy activities / deliveries during construction to 08.00 to 18.00 on workdays, 08.00 to 13.00 on Saturdays with no such activities allowed on Sundays. The implementation of these conditions would prevent unacceptable impacts on both tranquillity and residential amenity. The requested conditions are therefore considered appropriate and it is recommended that they are attached to the permission should the application be approved.

5.51 No details or locations of any external lighting which may be required to support the application have been provided. In order to protect the tranquillity and Dark Sky status of this part of the National Park, it is considered reasonable to attach a condition restricting the installation of any external lighting required in association with scheme without approval for the technical specification and location first being sought from the Authority. The NNPA Landscape and Forestry Officer has also recommended the inclusion of a condition requiring any new external lighting to be approved by the LPA. Subject to the inclusion of such a condition the development is considered to be acceptable in terms of impact upon tranquillity, in accordance with Core Strategy policies 1 and 19 and NPPF Paragraph 180.



Highways

- 5.52 The proposals would make use of the existing vehicular access from the public highway. The access passes between 'The Old Mill' and associated outbuildings before entering the site through an existing field gate and on to a new area of hardstanding to the front of the double garage.
- 5.53 Northumberland County Council Highways have been consulted on the proposals. They have raised no concerns in relation to road safety, noting that existing visibility splays are acceptable and that the existing access accords with an NCC Type A (light vehicle use) layout with no alterations required. They have also noted that the layout illustrates an in curtilage area for parking and turning, with sufficient room to enable manoeuvrability, omitting the need to reverse excessive distances or onto the highway. On this basis, Highways have raised no objections. They have however recommended that conditions are attached requiring the implementation of the car parking area prior to first occupation of the dwelling and the submission of a Construction Method Statement prior to the commencement of the development. The imposition of these conditions is considered to be reasonable and necessary and it is recommended that they are attached to any planning approval which may be issued.
- 5.54 Highways have also recommended that the development should not be occupied until the cycle parking shown on the approved plans is implemented. However, the plans do not show cycle parking with the pre-amble to the conditions recommended by Highways noting that the double garage could serve this purpose. As the provision of cycle parking is not a requirement of the Core Strategy and the double garage is already an integral element of scheme design, the implementation of this condition is considered neither reasonable nor necessary.
- 5.55 Highways have also advised that a condition should be attached requiring details of refuse storage facilities to be provided prior to the occupation of the development. As the location of bin storage has been detailed on the proposed site plan (M647/04/Rev E) and addressed within the application form, the imposition of this condition is again not considered reasonable or necessary.
- 5.56 In addition to the above conditions, Highways have also requested that a number of informatives are attached to any permission which may be issued reminding the applicant not to store buildings materials or equipment on the highway; not to deposit mud / debris / rubbish on the highway; and the size of containers required for the storage of waste. The imposition of these informatives is considered to be appropriate.



Drainage

- 5.57 The application form indicates that foul drainage will be dealt with by means of a connection to the main sewer. While this is the preferred method for dealing with foul sewage, concern has been raised by a local resident. The plans indicates that a domestic sewage pumping station would be required to connect the building to the mains drainage in the road, the concern being as to whether this would be unacceptably noisy or lead to environmental problems were it to fail.
- 5.58 In order to address the concerns raised, the applicant has provided additional information in relation to the proposed pumping station. The applicant has confirmed, following discussion with drainage specialists, that the proposed pumping station would have capacity for 24 hours of effluent storage which would provide adequate time to deal with any problems that may arise. In addition, the unit would be fitted with a range of warning options which would advise if the unit was failing to function correctly. The unit would also be subject to annual maintenance as part of an ongoing contract. The applicant has also confirmed that there is no noise associated with the unit. On this basis, and as Environmental Health have raised no concerns over this element of the scheme, it is considered that a connection to the main sewer would be acceptable and the most appropriate means of dealing with any foul sewage generated by the scheme.
- 5.59 The applicant has advised that surface water will dealt with by means of a soakaway. The soakaway would be located in the agricultural field downslope and to the south of the proposed dwelling. While the soakaway is outside the application boundary, it is located on land in the control of the applicant and its provision in this location is considered to be acceptable.

Renewable Energy

- 5.60 Strategy policy 25 contains a requirement for all new development to embed renewable technologies to offset at least 10% of the energy requirements of the development when in use. Policy 25 also seeks the amount of energy used in construction to be minimised and the highest energy efficiency to be achieved. Paragraph 153 of the NPPF advises that LPA's should expect new development to comply with development plan policies on local requirements for decentralised energy supply unless it can be demonstrated by the applicant that this is not feasible or viable.

- 5.61 The '*Planning, Design and Heritage Statement*' states that photovoltaic panels are to be installed on the building (as shown to the southern elevation on drawing M647/02/G) to generate power and geothermal technology is to be installed to provide heating. The Statement also notes that high levels of insulation are proposed and it is also stated that the building is orientated to take full advantage of solar gain. While the information contained within the '*Planning, Design and Heritage Statement*' is generic, during the course of the application the applicant has provided specific information relating to the PV panels. It has now been confirmed that a total 12no Clearline Fusion 300W photovoltaic panels are to be installed in 2 banks of six panels on the roof to the southern elevation. It has been estimated that this will produce approximately 3500kWh per annum in the first year, reducing to approximately 3000kWh after 20 years. OFGEM have recently published [guidance](#) which states that typical domestic consumption values (TDCV) for electricity range between 1,800 to 4,300kWh. As such, the level of energy produced through renewables would be significantly more than the 10% required by policy 25.
- 5.62 On the basis of the above, subject to suitable a condition requiring the proposed renewable measures to be embedded within / on the dwelling prior to first occupation, it is considered that the proposals would accord with the requirement of Core Strategy policy 25.

Contaminated Land

- 5.63 The application has been supported by a contaminated land 'Screening Assessment Form'. The form indicates that the application site has been used in the short term as rough grassland and historically as burgrave plots. Officers are also aware that the site has previously been used as a cricket field. While the screening assessment does not identify any potential sources of contamination, NCC Environmental Protection have been consulted. While they have noted that a saw-mill was previously located to the north of the site, as it has now been replaced by a bungalow, they are satisfied that the site would have been appropriately remediated at that time. As such, Environmental Protection are satisfied that as the application is for a single dwelling, the screening assessment is sufficient to address the responsibility of the developer to assess the risks from contamination.
- 5.64 Public Protection have however requested that a condition is attached requiring a method statement to be submitted should any contamination not previously identified be encountered during development. While this element of the condition is considered reasonable, it has also been requested that '*Should no contamination be found during*



development then the applicant shall submit a signed statement indicating this to discharge this condition'. Officers do not however consider it reasonable or necessary to require formal discharge of the condition if no contamination is encountered and as such, should planning permission be granted, it is recommended that this element of the requested condition is not attached.

6. Conclusion

- 6.1 The principle of the development is considered to acceptable, as the development accords with the requirements of Policy 5 by being located within a Local Centre. The development also accords with Policy 9 and the NPPF which seeks to direct housing developments towards the most sustainable settlements. Subject to a signed Section 106 agreement, the proposed dwelling would be retained in perpetuity for those with a local housing need in accordance with Core Strategy Policy 10.
- 6.2 As assessed above, subject to appropriate conditions, it is considered that the proposal would have no unacceptable impact on the special qualities of the National Park. The building is of modern design, making use of contemporary materials and using existing grounds levels to reduce the buildings prominence both in relation to the existing street scene and wider landscape setting and would have minimal impact on the amenity of neighbouring properties. Furthermore, subject to the conditions detailed below and as discussed in the report, the development is considered to be acceptable and in accordance with relevant planning policies in respect of all other material planning considerations.



7. Recommendation

It is recommended that Members be minded to grant conditional permission subject to the following conditions and also subject to the applicant entering into a legal agreement to ensure that occupation of the dwelling is restricted to people demonstrating a 'local housing need' in perpetuity.

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004)

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form received 18th September 2019;
- Location plan received 24th September 2019;
- Existing Site Plan, Sections and Elevations, Dwg no. M647/01 received 18th September 2019;
- Proposed floor plans, roof plan and sections, Dwg no. M647/02/Rev G, received 26th November 2019;
- Proposed sections and elevations, Dwg no. M647/03/Rev F, received 26th November 2019;
- Proposed site plan, Dwg no. M647/04/Rev E received 26th November 2019;
- View into proposed site, Dwg no M647 / 05 received 18th September 2019;
- Proposed landscape plan, details of fence and Ha-Ha, Dwg no. M647/06, received 21st November 2019;
- Contaminated Land Screening Assessment Form received 18th September 2019;
- Preliminary Ecological Appraisal of Land to the South of the Old Mill, Dendra Consulting Ltd., S&D_Harbottle_Eco1.2, dated 22/01/2019 received 18th September 2019;
- Proposed new house on part of former Cricket Ground, Harbottle, Planning, Design and Heritage Statement, received 18th September 2019;
- Product brochure 'Clearline Fusion roof integrated solar PV', received 26th November 2019;



- E-mail from Clare Grundy received 20th November 2019; 16:17 regarding sequential test;
- E-mail from Clare Grundy received 26th November 2019; 12:06 regarding ecology and renewable energy;

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies 1, 2, 3, 4, 5, 6, 9, 10, 17, 18, 19, 20, 22 and 25 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF).

3. Prior to the commencement of the construction of the dwelling hereby approved, samples and / or full details of the following external facing materials shall be submitted to and approved in writing by the local planning authority:

- Slate roof tiles;
- Metal cladding (roof and walls);
- Timber boarding;
- Stone plinth;
- Glazed aluminium windows and doors;
- Timber garage doors

The development shall be constructed in accordance with the approved details.

Reason: In order to preserve the visual appearance and amenity of the area, and the special qualities of the National Park, in accordance with Core Strategy policies 1 and 3 and the NPPF.

4. Prior to the commencement of any groundwork, an archaeological written scheme of investigation (WSI) shall be submitted for written approval by the Local Planning Authority.

Reason: In order to ensure that there is no unacceptable risk to potential or unknown archaeology on the site and to safeguard the cultural heritage of the National Park, by providing an adequate opportunity to investigate archaeological remains on the site before development is carried out, in accordance with Core Strategy policy 18 and Chapter 16 of the NPPF.



5. The development shall be undertaken in accordance with the archaeological written scheme of investigation that has been submitted to and approved in writing by the Local Planning Authority. A copy of the report compiling the assessment and findings of the excavation shall be submitted to the Local Planning Authority within two months of the investigative works being completed by the archaeologist.

Reason: In order to ensure that provision is made for the recording of any archaeological features or finds during the development, in accordance with Core Strategy policy 18 and Chapter 16 of the NPPF.

6. If during development contamination not previously considered is identified, then a method statement regarding this material shall be submitted to and approved in writing by the Local Planning Authority. The dwelling shall not be occupied until the method statement has been submitted to and approved in writing by the Local Planning Authority and measures proposed to deal with contamination have been carried out.

Reason: To ensure that any contaminants not previously considered within the site are dealt with in an appropriate manner to afford protection to the end user in accordance with Core Strategy policy 3 and the NPPF.

7. During the demolition / construction period, there shall be no noisy activity i.e. audible at the site boundary on Sundays or Bank holidays or outside the hours: Monday to Friday 08.00 – 18.00, Saturday 08.00 – 13.00. Any repeatedly noisy activity at any time may render the developer liable to complaints which could result in an investigation as to whether a statutory nuisance is being caused.

Reason: To protect residential amenity and provide a commensurate level of protection against noise in accordance with Core Strategy policy 3 and the NPPF

8. Delivery to and collections during the construction phase of the development shall only be permitted between the hours: Monday to Friday 08.00 – 18.00, Saturday 08.00 – 13.00 with no deliveries or collections on a Sunday or Bank Holiday, unless otherwise agreed in writing with the LPA.

Reason: To protect residential amenity and provide a commensurate level of protection against noise in accordance with Core Strategy policy 3 and the NPPF.

9. The dwelling shall not be occupied until the car parking has been implemented in accordance with the approved plans. Thereafter, the car parking area shall be retained in



accordance with the approved plans and shall not be used for any purpose other than the parking of vehicles associated with the dwelling.

Reason: In the interests of highway safety, in accordance with Core Strategy policy 3 and the NPPF.

10. Development shall not commence until a Construction Method Statement, together with supporting plan has been submitted to and approved in writing by the Local Planning Authority. The approved Construction Method Statement shall be adhered to throughout the construction period. The Construction Method Statement and plan shall, where applicable, provide for:

- Details of temporary traffic management measures, temporary access, routes and vehicles;
- Vehicle cleaning facilities;
- The parking of site operatives and vehicles;
- Storage of plant and materials used in constructing the development;

Reason: To prevent nuisance in the interests of residential amenity and highway safety, in accordance with Core Strategy policy 3 and the NPPF.

11. Prior to the fixing of any external lighting associated with the development hereby approved, details of the external lighting shall be submitted to and agreed in writing with the Local Planning Authority. Details should include:

- The specific location of all external lighting units;
- Design of all lighting units;
- Details of beam orientation and lux levels; and
- Any proposed measures such as motion sensors and timers that will be used on lighting units.

The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such during the operation of the development, unless removed.

Reason: In order to ensure that there is no harmful impact upon the tranquility and intrinsically dark character of Northumberland National Park and the Northumberland International Dark Sky Park through excessive light pollution, in accordance with Policies 1 and 19 of the Core Strategy and paragraph 180 of the NPPF.



12. The dwelling hereby approved shall not be occupied until the proposed solar PV panels are installed in accordance with the approved plans. Any change to the proposed solar PV panels should be submitted to and approved in writing by the LPA prior to their installation.

Reason: In order to ensure that the development incorporates adequate renewable energy technologies and energy efficiency measures to accord with Core Strategy Policy 25 and Chapter 10 of the NPPF.

13. Prior to the first occupation of the dwelling hereby approved, details of the obscure glazing to be applied to the bedroom / dressing room window to the west elevation of the dwelling shall be submitted to and approved in writing by the Local Planning Authority. The glazing shall be installed in accordance with the submitted details, prior to the first occupation of the property and shall remain as such thereafter.

Reason: To ensure that residential amenity is protected in accordance with Core Strategy Policy 3 and the NPPF

14. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revising, revoking and re-enacting that Order with or without modification), no windows, doors or other openings other than those expressly authorised by this permission shall be installed in the west elevation.

Reason: To ensure that amenity is protected in accordance with Core Strategy policy 3 and the NPPF.

15. The proposed landscaping and planting shall be implemented in full accordance with drawing M647 /06 in the first available planting season following occupation of the dwelling hereby approved, unless an alternative timescale is agreed in writing with the Local Planning Authority.

Any trees, shrubs or plants which die, or are otherwise removed, within a period of five years of the completion of the development shall be replaced in the next planting season with others of a similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: In the interests of the visual amenity of the area and to ensure the development is in accordance with Core Strategy policies 17 & 20 and the NPPF.

16. The dwelling hereby approved shall not be occupied until the hard landscaping scheme has been implemented in full accordance with the approved details set out in Dwg no. M647 / 06.

Reason: In the interests of protecting the visual character of the area, in accordance with Core Strategy policies 1 and 3 and the NPPF.

17. The dwelling hereby approved shall not be occupied until the boundary treatments have been implemented in full accordance with the approved details set out in Dwg no. M647 / 06.

Reason: To ensure that the boundary treatments are appropriate in the context of the design of the development and its surroundings, in accordance with Core Strategy policies 1 and 3 and the NPPF.

18. The development hereby permitted shall not be occupied until the dwelling has been connected to the mains sewer in accordance with the submitted details.

Reason: To ensure that adequate measures to deal with foul drainage are in place before the development is occupied without the development creating a negative impact in terms of amenity or localised pollution, in accordance with Core Strategy policies 1 and 3 and the NPPF.

19. The development hereby approved should be carried out in strict accordance with the avoidance and mitigation strategy detailed in Section 6 of the 'Preliminary Ecological Appraisal of Land to the South of the Old Mill, Dendra Consulting Ltd., S&D_Harbottle_Eco1.2, dated 22/01/2019' Report and shown on Dwg no. M647/04/Rev E. In particular, attention is drawn to the need to undertake the development in accordance with the requirements in respect of:

- No vegetation clearance works (including tree felling) between mid-March and August (inclusive) unless a checking survey by a suitably qualified ecologist has confirmed no breeding birds are present;
- Checking surveys;
- The provision of two bat boxes (one on a retained tree; one on the stone bothy) prior to the felling of trees on the site boundary;
- Provision of a bat box on the west elevation of the proposed dwelling following construction;



- Erection of a Schwegler House Sparrow terrace nest box on the north or north-east elevation of the new dwelling.

Reason: To ensure the development poses no risk of unacceptable harm to protected species and to ensure the development is in accordance with Core Strategy Policy 17, the National Planning Policy Framework (NPPF) and the Conservation of Habitats and Species Regulations (as amended).

20. The final finished floor levels shall be as per the site section detailed on Dwg M647/02/Rev G

Reason: In order to preserve the visual appearance and amenity of the area, and the special qualities of the National Park, in accordance with Core Strategy policies 1 and 3 and the NPPF.

Informative Notes

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
 - (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission



of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

3. Building materials or equipment shall not be stored on the highway unless otherwise agreed. You are advised to contact the Streetworks team on 0345 600 6400 for skips and containers licenses.
4. In accordance with the Highways Act 1980 mud, debris or rubbish shall not be deposited on the highway.
5. Containers for the storage of waste. For new individual properties the following will be required to be provided:
 - 240 litre wheeled bin for residual refuse;
 - 240 litre wheeled bin for recycling

Developers should be made aware that an additional 240 litre brown bin may also need to be accommodated for garden waste which is subscription seasonal scheme.

6. It would be expected that effective dust management should be employed during the demolition and construction works.

Contractors and their employees should use effective dust minimisation techniques which shall have regard to guidance such as:

The Institute of Air Quality Management has produced very current documentation entitled '[Guidance on the Assessment of Dust and Emissions During Construction and Demolition](#)'

The HSE also provide guidance on [construction dust](#) as do the CITB through the [Construction Dust Partnership](#).

7. The effectiveness of the development's design in ensuring that a nuisance is not created is the responsibility of the applicant / developer and their professional advisors / consultants. Developers should therefore fully appreciate the importance of obtaining competent professional advice.

In all cases, the Authority in conjunction with Northumberland County Council retains its right under Section 79 of the Environment Protection Act 1990, in respect of the enforcement of Statutory Nuisance.

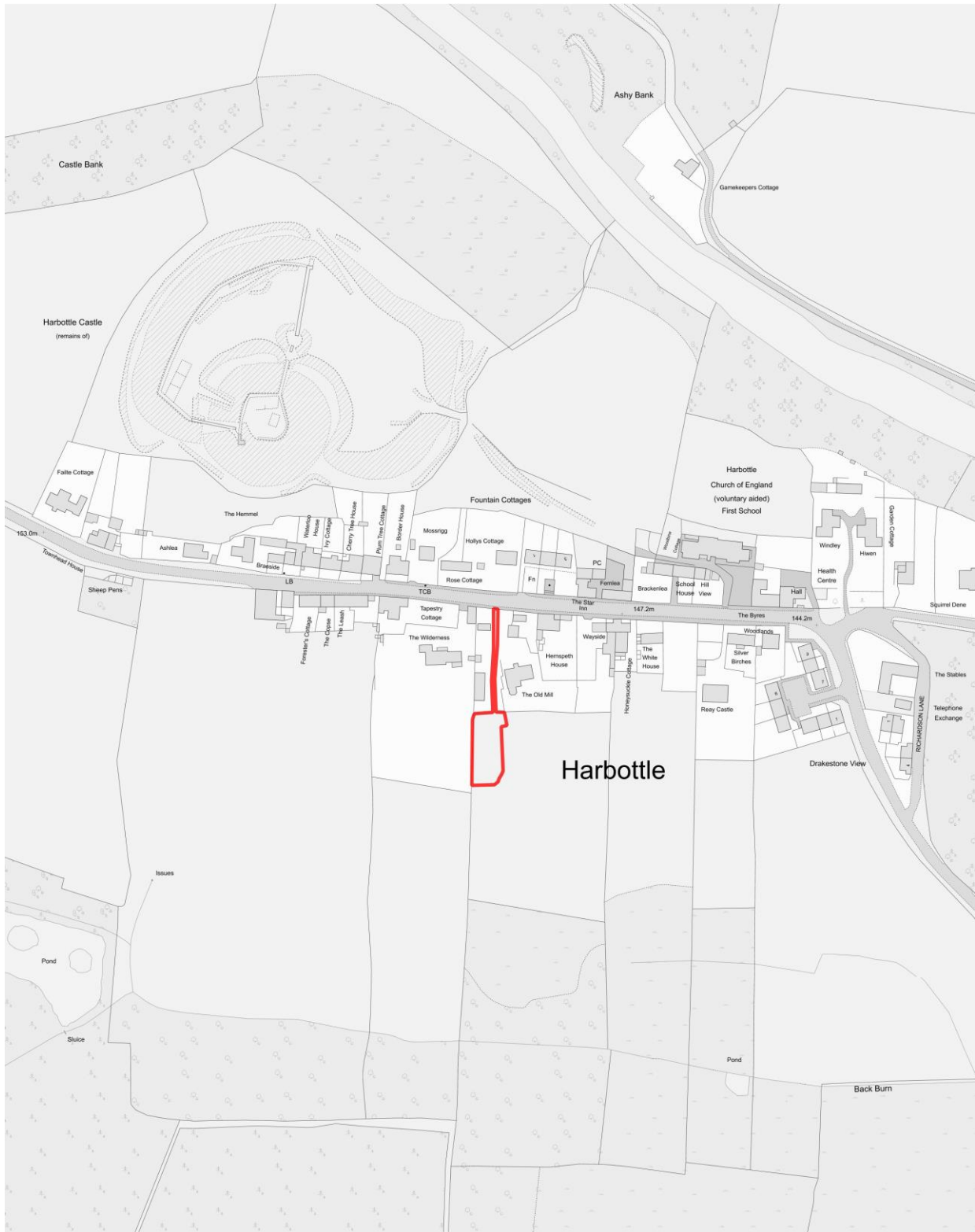


8. This planning permission is granted subject to a legal agreement under section 106 of the Town and Country Planning Act 1990.

Contact Officer:

For further information contact Colin Godfrey Planning Officer Development Management on 01434 611552 or e-mail: planning@nnpa.org.uk

Application File: 19N0093
EIA Screening Report



19NP0093 The former Cricket Club, Harbottle

1:2,500

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