



DELEGATED DECISION REPORT

Application Reference Number	19NP0098CO
Description / Site Address	Neighbouring Authority Consultation (19/04033/FUL) - Erection of annexe at Old Station House, Kirknewton, Wooler, Northumberland, NE71 6XH
Last date for decision	4 November 2019

Details of Proposal

This application relates to a planning application which has been made to Northumberland County Council, Northumberland National Park Authority has been consulted on the proposal as the neighbouring Local Planning Authority.

This application seeks approval for the erection of an annexe in the residential curtilage of the Old Station House, Kirknewtown. The application site is located just to the west of Kirknewton and immediately to the north of the B6351 and the boundary with the National Park.

The annexe is to be located just to the east of the residential property, adjacent to an existing store / workshop and close to the southern boundary of the property which is formed by a traditional stone wall. The annexe is to be single storey and constructed from larch boarding with an insulated sheet roof to match the adjacent workshop. Windows and doors are to be constructed from timber painted grey with gutters and downpipes to be black uPVC, again to match the existing. The building is to have a maximum width of 9.5m, depth of 7m with an eaves height of approximately 3m and ridge height of approximately 3.84m. The building will provide a combined kitchen / living area, bedroom, bathroom and porch and is required to provide additional accommodation for the applicant's family.

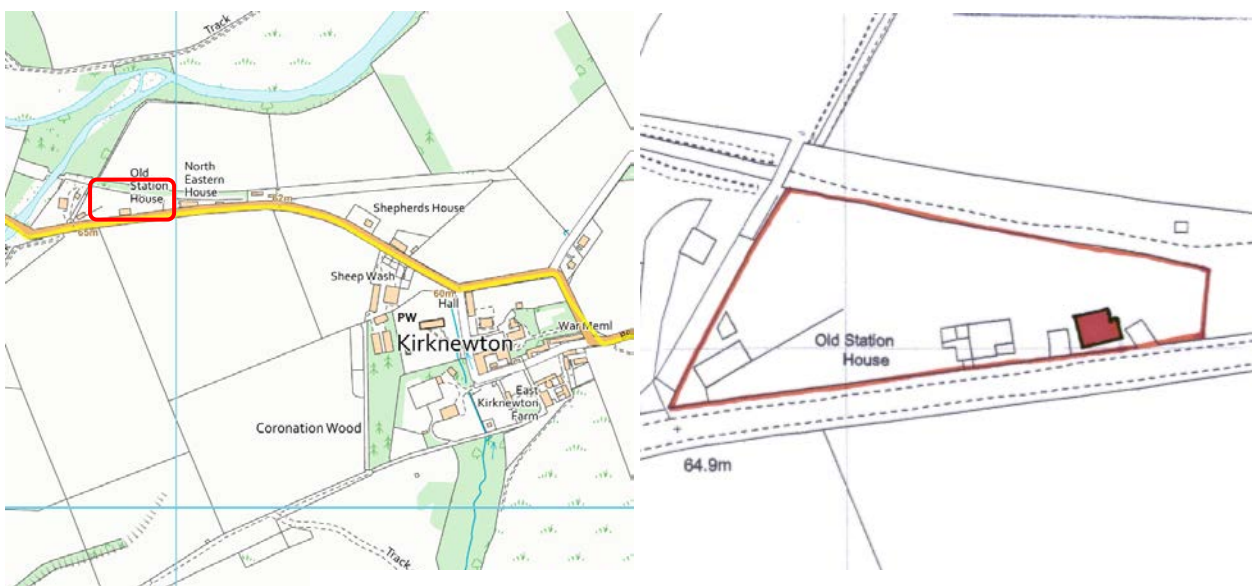


Figure 1: Site Location



Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

Local Policies

Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)

Relevant Planning History

N/A

Consultation/Representations

None undertaken as part of this application

Assessment

The principle of development is to be considered by Northumberland County Council as the responsible Planning Authority. In the context of this report, Northumberland National Park Authority is providing a view as a consultee as to whether the proposed development would detrimentally impact upon the Park's landscape character, views into and out of the Park, and any impacts upon the Park's tranquility, biodiversity and geodiversity.

The proposed development would be almost adjacent to the northern boundary of the National Park. As such, the building would be clearly visible from within the National Park with the main visual receptor being the adjacent B6351. However, both the application site and adjoining land is flat, meaning that the proposed building would not be visually prominent given as it is not located in an elevated position and is of relatively low form. In addition, the building would be in close proximity to the existing dwelling and store with linear development close to the road being characteristic of the general development pattern in the immediate area. When viewed from the higher land to the south (at a distance in excess of 300m), the building would be viewed as part of the existing development both within the site and on adjoining land. As such, having consideration for the design, scale and nature of the proposed scheme in the context of the existing character of the property and wider development patterns in the immediate area, it is not considered that the proposals would have a detrimental impact upon views into/out of the National Park or the landscape, biodiversity or cultural heritage of the National Park.



No detail has however been provided of any external lighting which may be required as part of the scheme. As the scheme relates to the provision of new building in a sensitive location outside of the main settlement of Kirknewton and in close proximity the boundary of the Dark Sky Park, a condition is recommended restricting the installation of external lighting to that which has been approved by the Local Planning Authority. This is considered necessary to ensure that any external lighting is appropriate to its open countryside location and to protect and conserve the tranquility of the surrounding area, in accordance with policy 19 of the NNPA Core Strategy and the NPPF.

Recommendation & Conditions

Taking into account the above, it is recommended that **no objections are raised**; however the following condition is recommended.

1. *Prior to the fixing of any external lighting required in association with the development, details of the external lighting shall be submitted to and agreed in writing by the Local Planning Authority. Details should include:*

- *The specific location of all external lighting units;*
- *Design of all lighting units;*
- *Details of beam orientation and lux levels; and*
- *Any proposed measures such as motion sensors and timers that will be used on lighting units*

The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such thereafter, unless removed entirely.

Reason: *In order to ensure that there is no harmful effect upon the tranquility and intrinsically dark character of the area, including the Northumberland Dark Sky Park through excessive light pollution, in accordance with paragraph 180 of the NPPF.*

Background Papers

Application File 19NP0098CO

	Signature	Date
Planning Officer	<u>C Godfrey</u>	<u>29/10/2019</u>
Head of Development Management	<u>S Buylla</u>	<u>29/10/2019</u>