



DELEGATED DECISION REPORT

Application Reference Number	19NP0102
Description / Site Address	Demolition of existing entrance porch and construction of a single storey side extension to form two bedrooms and main entrance at Tweed House, Brown Rigg Caravan And Camping Park, Bellingham, Hexham, Northumberland, NE48 2JY
Expiry date of publicity / consultations	21 November 2019
Last date for decision	26 December 2019

Details of Proposal

Planning permission is sought for the demolition of an existing entrance porch and construction of a single story side extension to form two bedrooms and main entrance at Tweed House, Brown Rigg Caravan and Camping Park, Bellingham.

The site which is classed as open countryside is located 600m south west of Bellingham. It is the current residence of the caravan and camping park's owners. It is a single storey, timber lodge with slate roof, believed to have been built in the mid 1930's. There are no other residential dwellings in the vicinity. The nearest (thought to be) residential dwelling is The Schoolmasters House, a single storey lodge, 74m north of the property. The Schoolmasters House is surrounded by coniferous trees and is not visible from the proposal site. Furthermore, one of the caravan park's utilities buildings lies between the proposal site and it. The Pennine Way and B6320, the closest public receptor sites do not offer any views of the proposal site by virtue of the lay of the land and tree coverage.

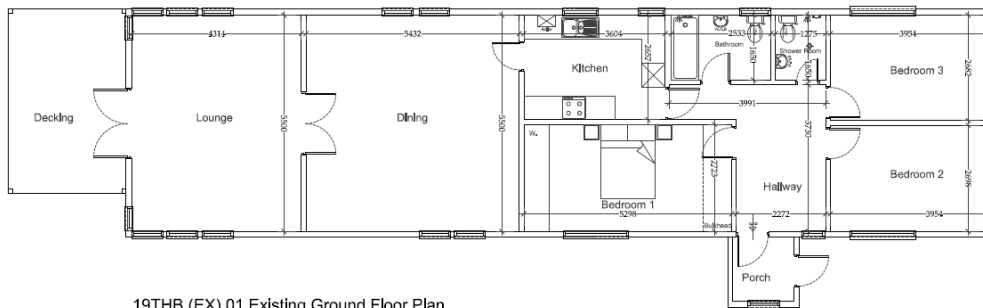
To the south of the site lies open countryside, to the east lie single storey facility buildings and the caravan and camping ground itself. To the North lie a number of single story timber buildings, currently used as holiday lodges in separate ownership.

The proposal would see the creation of a single storey, timber extension to the south east facing elevation. It would measure 8 m L x 6.2m D x 5 m H and be constructed of timber and synthetic slate. Two small roof lights would be installed in the south facing elevation.

The nearest structure to Tweed house is Wansbeck house, a similar single storey, timber building owned by the applicant. Wansbeck House is used as a hall for the patrons of the caravan site. The proposed extension's eaves would overhang those of Wansbeck house as shown in Fig 3.



Fig 1 Location of proposed extension



19THB (EX) 01 Existing Ground Floor Plan

Fig 2 Existing plans

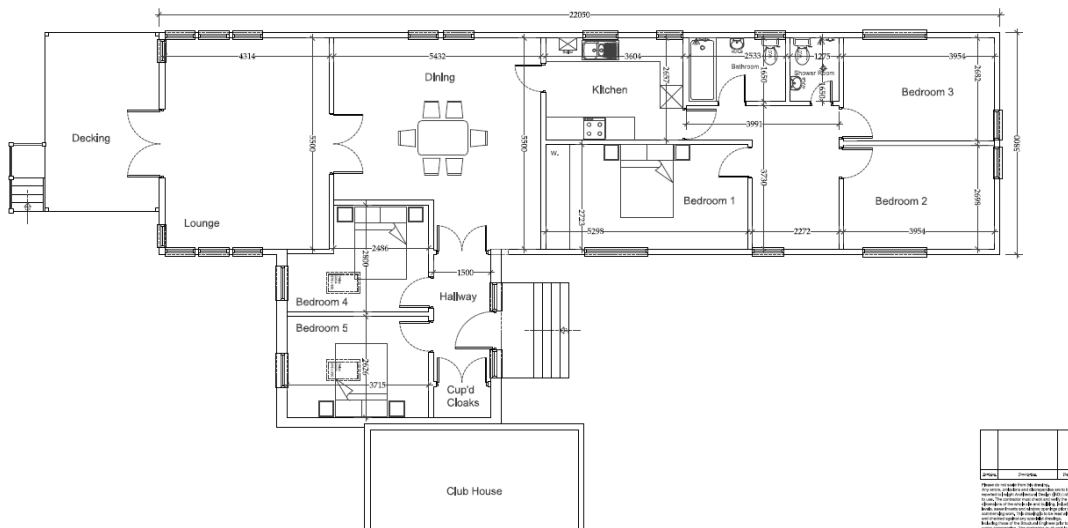


Fig 3 Proposed plans



Fig 4 Proposed elevations



Fig 5 house in foreground, Wansbeck house to left



Fig 6 House to left and utility building to right



Fig 7 Tweed house to right, looking south west.



Fig 8 looking west from caravan site car park

Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance



Local Policies

Northumberland National Park Authority Core Strategy and Development Policies Document (Core Strategy) (2009)

Policy 1	<i>Delivering Sustainable Development</i>
Policy 3	<i>General Development Principles</i>
Policy 17	<i>Biodiversity and Geodiversity</i>
Policy 18	<i>Cultural Heritage</i>
Policy 19	<i>Tranquillity</i>
Policy 20	<i>Landscape Quality and Character</i>

Northumberland National Park Local Plan 2017-2037 Publication Draft Plan

Policy ST1	Sustainable Development
Policy ST2	General Development Principles
DM2	Householder Development
Policy DM10	Habitats, Biodiversity and Geodiversity
Policy DM11	Landscape, Tranquillity and Dark Night Skies

The NNP Local Plan has been submitted to the Secretary of State for examination. Paragraph 213 of the NPPF advises that weight should be given to relevant policies in existing plans according to the degree of consistency with the NPPF i.e. the closer a policy in a local plan accords with the NPPF, the greater the weight that may be given to them. The adopted development plan is the Northumberland National Park Core Strategy (2009) and the policies within the Core Strategy are considered to be in accordance with the NPPF and can therefore be given due weight.

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)
NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

15NP0106 Demolition of existing garage/store and construction of replacement with double carriage house, workshop and log store – Approved 5/1/15

17NP0021 Installation of land drain and landscaping works (retrospective) – Approved 4/4/17

19NP0034 Installation of package treatment plan – Approved 24/6/2019



Consultation/Representations

Ecologist – No objections subject to conditions

Bellingham Parish Council – no comments received

Public Protection – No comments

Highways – No objections subject to conditions

The application has been advertised by a site notice displayed on the 4th November 2019 and notification letters sent to 5 neighbouring properties. No representations have been received in response.

Assessment

Matters to be taken into consideration:

- The principle of the development
- Design, visual impact and amenity
- Impact upon the National Park Special Qualities
- Highways

Principle of Development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy 1 of the NNPA Core Strategy Local Development Framework (Core Strategy) seeks to ensure that development proposals will conserve or enhance the special qualities of the National Park, the effects upon which are discussed in more detail later in this report.

The application site is located within the open countryside whereby Core Strategy Policy 5 restricts development to the re-use of existing buildings with new buildings being permitted only where they could not be located elsewhere and would not cause detriment upon the special qualities of the National Park. In this case, the proposal for the addition of a single story, extension to provide two bedrooms and entranceway, as assessed below, would not result in harm to the special qualities of the National Park. Nor is it considered an unreasonable requirement of the property. It is therefore considered that the proposal is in accordance with Core Strategy Policy 5 and the NPPF.

Strategic Policy ST1 of the emerging Northumberland National Park Local Plan (NNPLP) adopts a presumption in favour of sustainable development, setting out the criteria for such



development and specifying development that would be deemed unsuitable. NNPLP policy DM2 permits extensions to houses that take account for the character of the local areas and the Parks special qualities. It is considered that the proposal is in accordance with Policy ST1 and DM2 however little weight can currently be given to this policy at this time.

Design, visual impact and Amenity

The NPPF highlights the importance of good design principles within planning. Core Strategy Policy 3 echoes this philosophy by supporting sustainable development proposals that conserve and enhance local character and this is also set out in more detail within the NNPA Design Guide SPD.

The overall design and appearance of the proposal is considered appropriate and sympathetic in context with the host property and surrounding buildings. The alternative finishes to the cladding and fenestration make clear that the extension is an addition to the building whilst remaining complimentary. The ridge height of the extension would match that of the existing property. Whilst not subservient, the extension would be to scale and in keeping with the existing dwelling. The proposal would not have a negative impact upon the character, appearance or wider visual amenity of the site or surrounding area and would therefore accord with Core Strategy Policy 3 and the NPPF.

The host property is not near to or overlooked by any other dwellings and would therefore cause no detrimental impact upon the amenity of the nearest dwellings in terms of overlooking, loss of light, privacy or overbearing impact. The proposal is therefore in accordance with Core Strategy Policy 3 and the NPPF in this regard.

Strategic Policy ST2 of the emerging Northumberland National Park Local Plan (NNPLP) sets out General Development principles, permitting development where it maintains and enhances the distinctive character of the National Park. It is considered that the proposal is in accordance with this, however little weight can currently be given to this policy at this time.

Impact upon National Park Special Qualities

Ecology

Core Strategy Policy 17 seeks to protect, enhance, and restore biodiversity and geological conservation interests across the National Park. The application has been supported by a Bat and Bird Risk Assessment. The National Park Ecologist has been consulted on the application who notes in their consultation response that there is only a small risk to bat roosts in the buildings to be altered and that no bats were recorded during the survey. It was also recommended that works to the roof should be undertaken under the supervision



of a Consulting Ecologist to ensure that should any bats be discovered, their protection is assured.

It was also mentioned that a number of the mitigation strategy recommendations within the survey should be conditioned. Specifically:

- Avoidance of any destructive works that would affect nesting birds
- Provision of a method statement to contractors
- External lighting will be on a relatively short timer, directed away from bat flight paths and motion-sensitive only to large objects.

As such, the above recommendations are suggested as part of any approval.

Policy DM10 of the emerging NNPLP echoes CS policy 17 and seeks to support development which gives great weight to the protection and enhancement of habitats, biodiversity and geodiversity. It is considered that the proposal accords with this emerging policy however little weight can currently be given to this policy.

Landscape

Policy 20 of the Core Strategy seeks to ensure the proposal will conserve and enhance the beauty and heritage of the National Park whilst being responsive to landscape change.

As stated earlier in the report, the application site is well screened from public view. The Pennine Way and the B6320 come within 143m of the site, however, a number of wooded areas, buildings and boundary treatments prevent the site from being viewed from the public domain. The nearest dwelling sits behind woodland and buildings and so cannot view the site as part of the landscape. Overall, the site and proposed extension would be very difficult to view from the wider landscape and as such, the proposal is considered to accord with Policy 20 of the Core Strategy.

Policy DM11 of the emerging NNPLP echoes CS policy 20 and seeks to support development which gives great weight to the conservation and enhancement of landscapes. It is considered that the proposal accords with this emerging policy however little weight can currently be given to this policy.

Tranquillity

Policy 19 of the Core Strategy supports proposal that conserve or enhance the tranquillity of the National Park.

The application site lies with the Northumberland Dark Skies Park and as such, consideration should be given to any proposed lighting. No details of external lighting



required in connection with the proposed extension have been submitted as part of the application. It is however not considered appropriate to include a condition restricting the installation of external lighting as the application relates to an existing property. The Park's Good Practice Guidance has been attached to the application as an informative as part of the approval.

By virtue of the scale, nature and location of the proposals, it is not considered that the proposed development would detrimentally impact upon the tranquillity of the surrounding area in terms of noise or traffic. The proposed development is therefore considered to accord with Core Strategy Policy 19 and the NPPF in this regard.

Policy DM11 of the emerging NNPLP echoes CS Policy 19 and seeks to support development which gives great weight to the conservation and enhancement of tranquillity and dark skies. It is considered that the proposal accords with this emerging policy however little weight can currently be given to this policy.

Special Qualities cont.

Due to the nature and location of the proposal, there are no Cultural Heritage considerations to be made as part of this application.

Highways

Tweed House benefits from a relatively large area of hardstand/ parking at its entrance which is accessed from within private property in the ownership of Tweed House. The nearest highway is 125m from the site. Northumberland County Council, the Highways Authority were consulted on the application who asked for a plan showing existing and proposed parking that demonstrates a minimum of 4 spaces. A subsequent parking plan showing 4 parking spaces within the hardstanding area associated with Tweed House was submitted. Having been consulted on the parking plan, Northumberland County Council Highways Authority have confirmed that the proposal would not have a severe impact upon the safety of the highway, that they have no objections to the proposal subject to a condition for the submission of a Transport Method Statement and a condition for the implementation of hard surfacing, sealing and marking out of parking bays.

It is not considered either of the recommended conditions are appropriate for a small domestic extension, particularly one that is within extensive grounds with ample space for storage, loading and unloading. Furthermore, there are no proposed changes to the existing car parking which is already appropriately surfaced. It is considered that marking of parking bays may be suitable for a commercial development and not for a domestic extension to a pre-existing dwelling. As such, it is recommended that any permission should not include these recommended conditions.



Recommendation & Conditions

Grant conditional permission subject to the following conditions :

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans, documents:

- Application form received 29th October 2019
- Ecology Bat and bird risk assessment received 29th October 2019
- Design and Access Statement received 29th October 2019
- Proposed Ground Floor Plan Dwg No. 19THB (GA) 01 received 29th October 2019
- Existing Ground Floor & Roof Plan Dwg No. 19THB (EX) 01-04 received 29th October 2019
- Existing and Proposed Site Plans Dwg No. 19THB (EW) 01-02 received 29th October 2019
- Existing Elevations Dwg No. 19THB (EX) (21-24) received 29th October 2019
- Proposed Roof Plan Dwg No. 19THB (GA) 04 received 29th October 2019
- Existing Proposed Site plan Dwg No. 19THB (EW) 01-02 Rev. A received 26th November 2019
- Proposed Elevations Drg No. 19THB (GA) 21-24 received 29th October 2019

Reason: For the avoidance of doubt, to enable the Local Planning Authority to adequately control the development and to conform with Policies 1, 3, 17, 18, 19 and 20 of the Northumberland National Park Authority Core Strategy & Development Policies Document (Core Strategy) and the National Planning Policy Framework (NPPF).

3. The development hereby approved shall be carried out in strict accordance with the following items found within the Mitigation Strategy section set out *in Tweed House Ecology, Bat and Bird Risk Assessment – October 2019* received 9th August 2019:

- Avoidance of any destructive works that would affect nesting birds



- Provision of a method statement to contractors
- External lighting will be on a relatively short timer, directed away from bat flight paths and motion-sensitive only to large objects.

Reason: To ensure the development poses no risk of unacceptable harm to protected species and to ensure the development is in accordance with Core Strategy Policy 17, the National Planning Policy Framework (NPPF) and the Conservation of Habitats and Species Regulations (as amended).

4. The applicant shall ensure that a suitably qualified Consulting Ecologist is present during the undertaking of any roof works related the development, so that any bats that are discovered as part of these works can be suitably protected.

Reason: To ensure the development poses no risk of unacceptable harm to protected species and to ensure the development is in accordance with Core Strategy Policy 17, the National Planning Policy Framework (NPPF) and the Conservation of Habitats and Species Regulations (as amended).

Informative Notes

1. The proposed development lies within an area that has been defined by The Coal Authority as containing potential hazards arising from former coal mining activity. These hazards can include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and previous surface mining sites. Although such hazards are seldom readily visible, they can often be present and problems can occur in the future, particularly as a result of development taking place.

It is recommended that information outlining how the former mining activities affect the proposed development, along with any mitigation measures required (for example the need for gas protection measures within the foundations), be submitted alongside any subsequent application for Building Regulations approval (if relevant). Your attention is drawn to The Coal Authority Policy in relation to new development and mine entries available at:

<https://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries>

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site investigation boreholes, digging of foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal



mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.

Property specific summary information on past, current and future coal mining activity can be obtained from: www.groundstability.com

If any of the coal mining features are unexpectedly encountered during development, this should be reported immediately to The Coal Authority on 0345 762 6848. Further information is available on The Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority

2. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of development, irrespective of the degree of variation, will constitute unauthorized development and may be liable to enforcement action.
 - (b) You or your agent or any other person responsible for implementing this permission should inform the Northumberland National Park Authority's Development Management team immediately of any variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
3. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

4. The application site is located within the Northumberland International Dark Sky Park. The 'Good Practice Guide for Outside Lighting in Northumberland International Dark Sky Park' and an additional guide to unacceptable / acceptable lighting is attached. It is recommended that any external lighting required in connection with the development is undertaken in accordance with the Guidance.



Background Papers

19NP00102

	Signature	Date
Planning Officer	<u>J Smith</u>	<u>16/12/2019</u>
Head of Development Management	<u>S Buylla</u>	<u>16/12/2019</u>