

Fig 12. Existing Ground Floor Plan

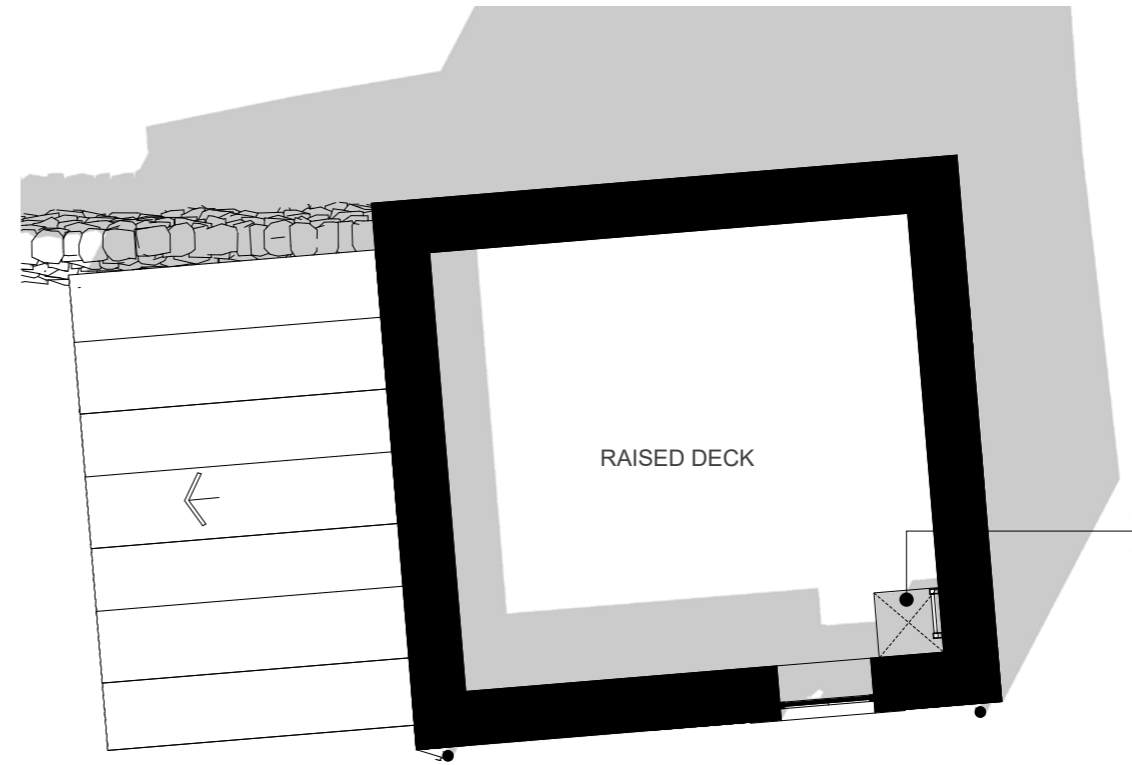


Fig 13. Existing First Floor Plan

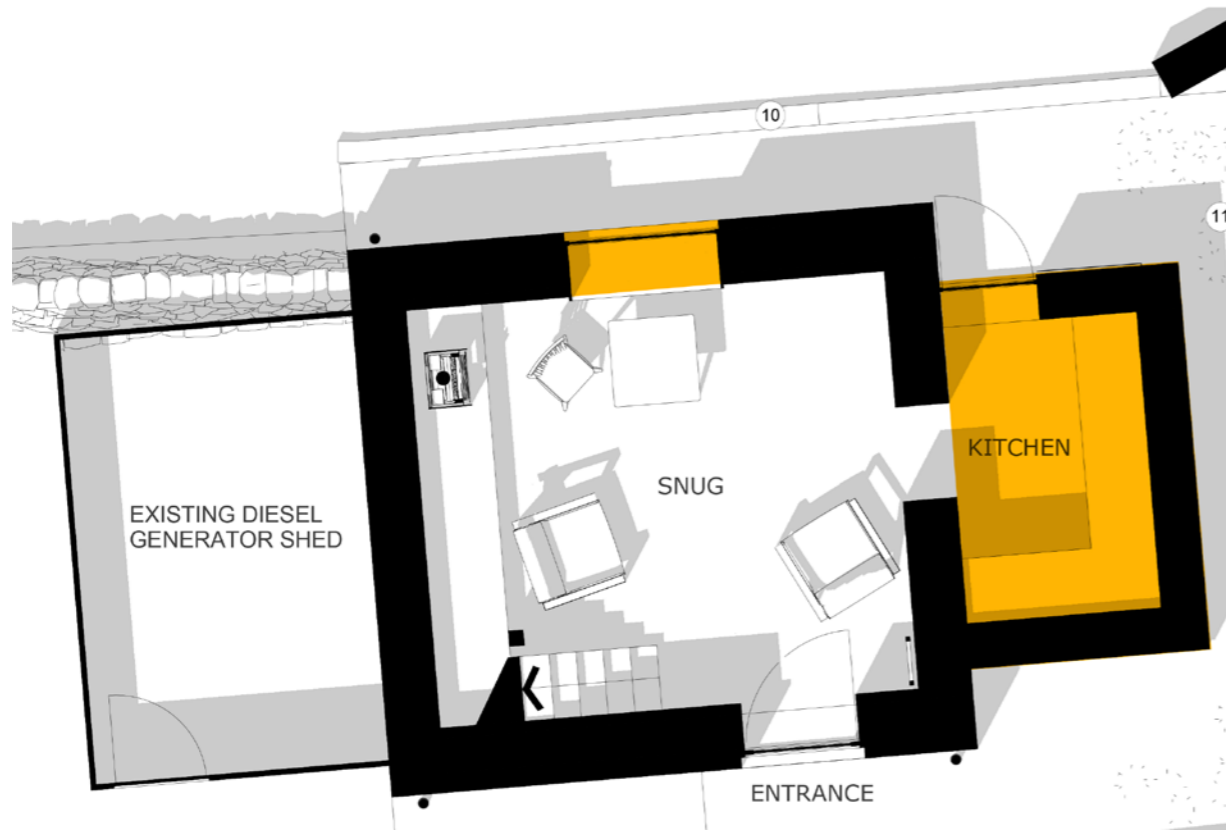


Fig 14. Proposed Ground Floor Plan



Fig 15. Proposed First Floor Plan

2.0

PROPOSAL - Outbuilding formally known as 'the Kennels'

The existing outbuilding on the site formally known as the kennels is used for storage. The kennel is private use only and therefore not open to use by ramblers / general public. The proposed works to the kennels seek re-use for holiday accommodation, the pre-application supported this use, quote ' I am satisfied that their reuse for holiday accommodation is an acceptable one and that the buildings are capable of conversion'.

The proposed works are to retain all existing openings, yard enclosure walls and their metal railings as per the formal drawings. A new opening within the wall to the south provides daylight, private views and access to the existing yard (direct amenity). The opening will be simple and grey framed doors fully glazed will compliment the existing openings, in future this opening could be filled in with the appropriate permissions to return the building back to its original state if required. A similar approach on a smaller scale to the rear facade has been adopted to provide two simple opening to provide daylight into the space, their impact from the road will be minimal and private views of the field will be appreciated while providing natural daylight.

Internally some of the walls are modified to accommodate a bedroom, snug living space with open planned compact kitchen and shower room/WC. The existing timber sliding sash window will be replaced with a new timber sliding sash window with opaque glass to maintain privacy in the shower room. Existing door openings are retrained for ventilation and access/escape with new timber doors as illustrated.

Landscape - the yard space will finished with a stone hard-stand and a small opening created to connect the two larger yards, this is to maximise its use as a space to sit in, reducing the amenity requirement to use the rear field which as no direct access from the building. The appearance of the kennels will be maintained and restored with the new opening(s) to compliment its new use.



Fig 16. Existing 3D perspective front elevation view of the outbuilding



Fig 17. Proposed 3D perspective front elevation view of the outbuilding

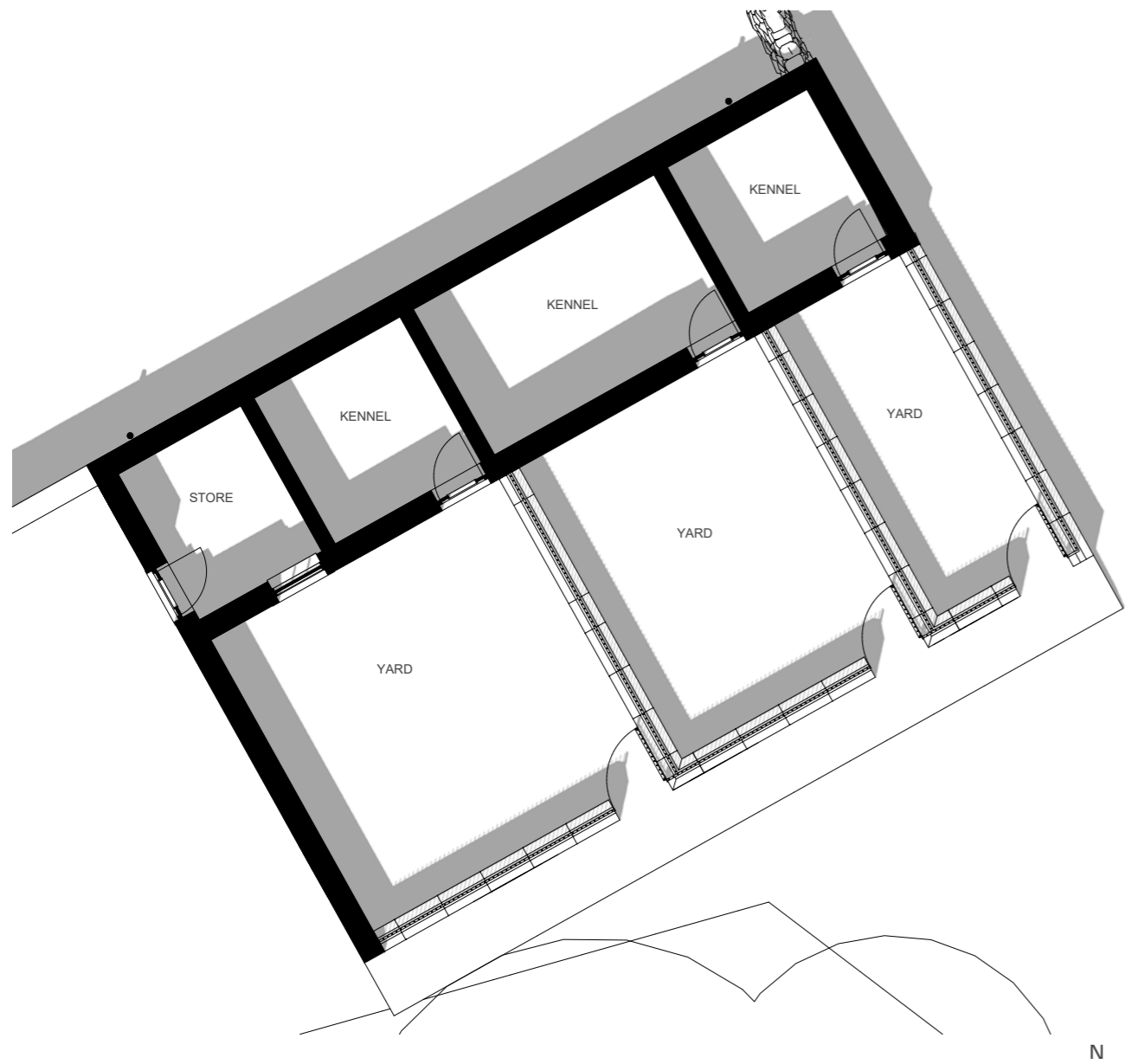


Fig 18. Existing Ground Floor Plan

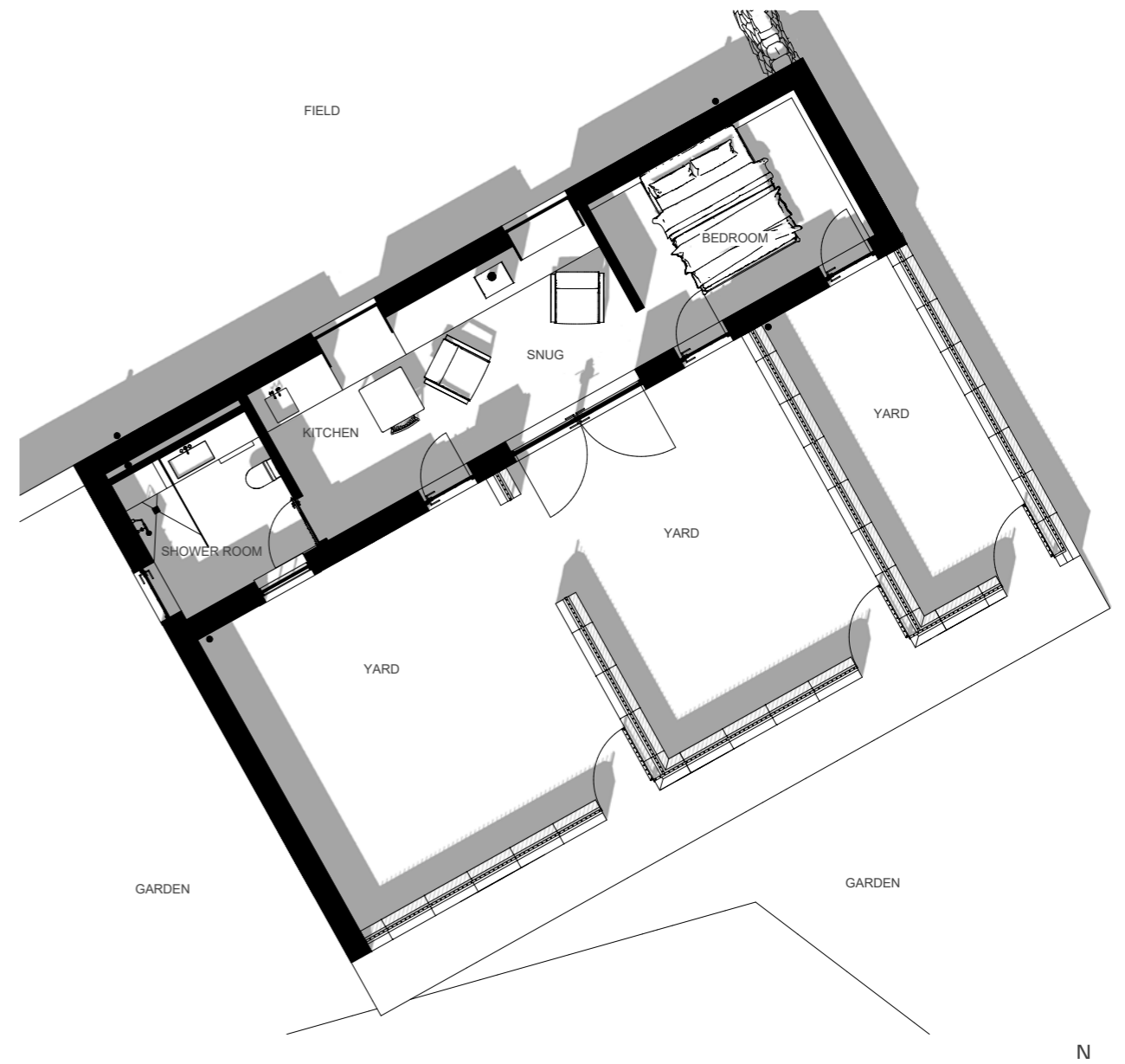


Fig 19. Proposed Ground Floor Plan

3.0

SCALE - Keepers Cottage

The scale of the extension has been carefully considered and a redesign of the pre-application proposal to reflect the recommendations made by the planning department.

The scale of the new side extension is an extrusion of the gable with reduced proportions to maintain the hierarchy of the original building extent.

Proportions match the existing fenestration with similar overhanging eaves.

The rear extension is an extrusion of the rear side facade which allows for the roof to extend over, simplifying the roofs-cape. A new rear dormer window which matches the proportions of the existing provides suitable space for a small en- suite. Utilising the roof space generated by the rear extension reduced the size requirement of the side extension accordingly. The dormer helps to break down the rear roof scape in an attractive and suitable way without change of pitch or form.

New gable fenestration is provided to maximise views and daylight without conflicting with the front street facade. The openings are in-filled with simple grey frame windows to make them appear subservient to the main facade and existing architectural features.

New materials match the scale of existing ie. stonework & slate.



Fig. 20 Existing frontage - scale



Fig. 21 Proposed frontage - scale

3.0

SCALE - The Bothy



Fig.22 Existing frontage - scale

The scale of the extension has been carefully considered and a redesign of the pre-application proposal to reflect the recommendations made by the planning department.

The scale of the new side extension is an extrusion of the gable with reduced proportions to maintain the hierarchy of the original building extent.

Cladding of the new extension will be in timber vertical cladding of a scale similar to that of agricultural buildings.

A new window on the rear facade is designed to have different but complimentary proportions to the existing fenestration. The same size openings are to be introduced to the adjacent building 'the kennels' so the rear façades of the pair compliment one another.

The existing side shed will be re-clad while maintaining existing proportions / footprint with timber to match the extension.

A replacement rooflight is proposed to improve natural daylight within the bedroom space using an appropriate conservation rooflight.

The rear side of the extension will be naturally lit with a tall slot window and roof-light with fine grey profile to enhance the separation of the extension and bothy. The proportions of the window follow the tall lines of the extension so they read as one mass rather than a facade punctured with multiple windows.

Roof slate to match the scale of the existing.

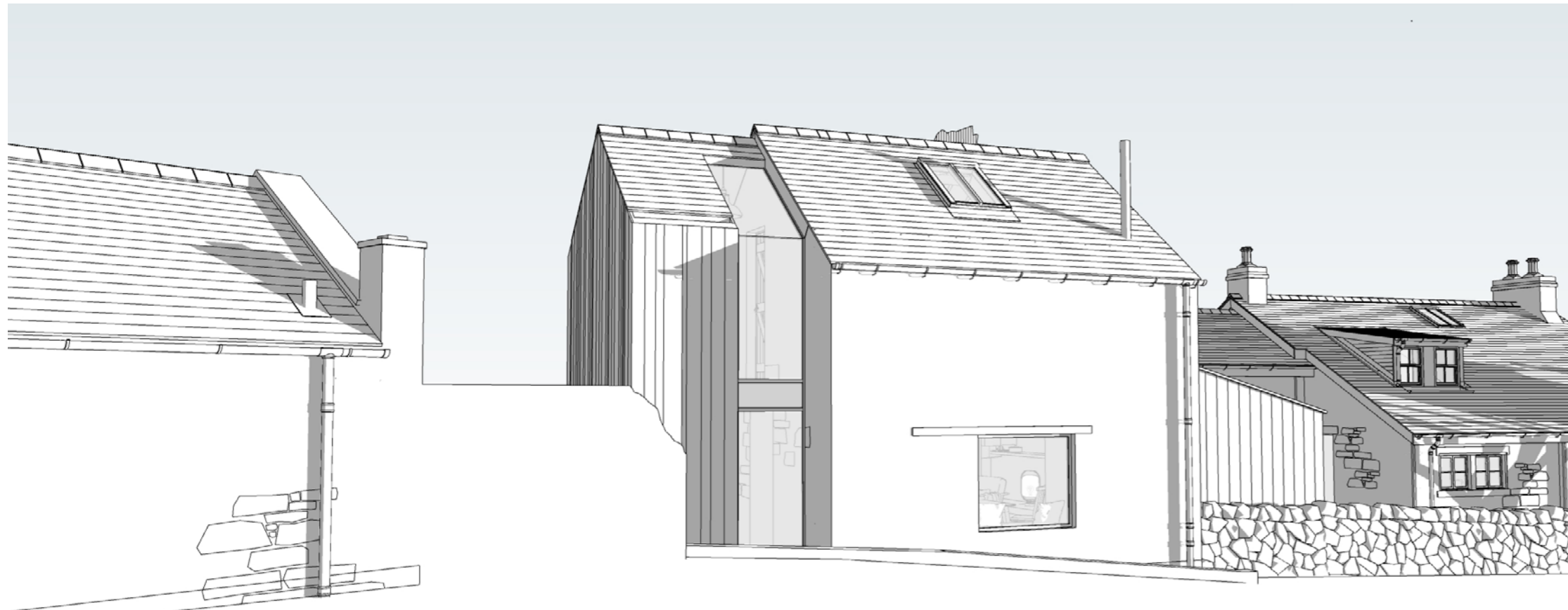


Fig.23 Proposed frontage - scale

3.0

SCALE - The Kennel

The Kennels are to be converted with adaptation of internal walls to provide appropriate size spaces for their purpose. New fenestration is proposed as there is only one existing window within the building. To avoid conflict between new and old openings, the new openings are simple and of a complimentary scale to distinguish between the two.

Following the design principles of the bothy, two new simple windows are introduced to the rear facade to match that of the bothy.

A new opening is introduced to the front facade which is within the private yard space. This opening allows for direct access into the amenity space (yard) while providing a view and natural daylight. The scale of the opening is similar to agricultural buildings, the opening is carefully positioned between two existing doors with suitable scale piers to balance the intervention.

All new openings are simple in their visual form and design, they preserve the existing fenestration. The new openings could be filled back in to return the building back to its original use maintaining the long term flexibility of the building.

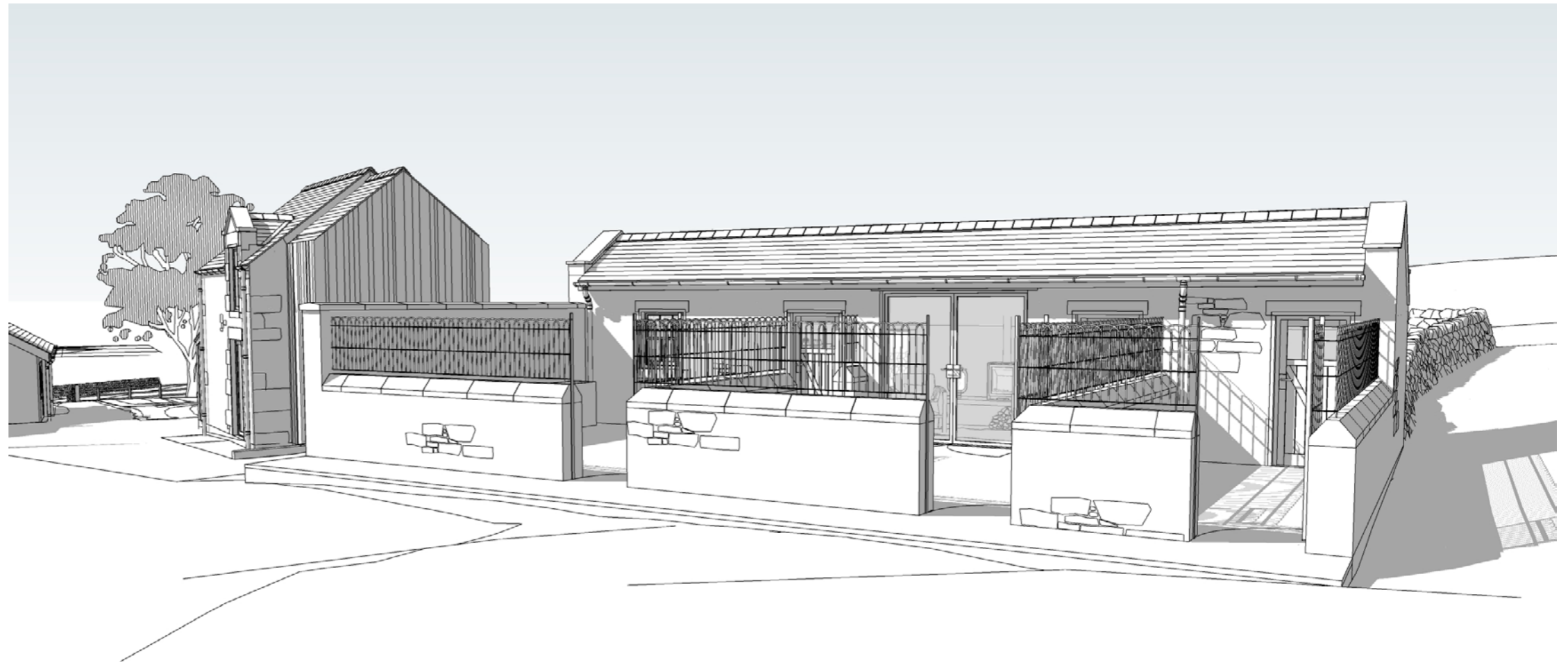


Fig.24 Existing frontage - scale

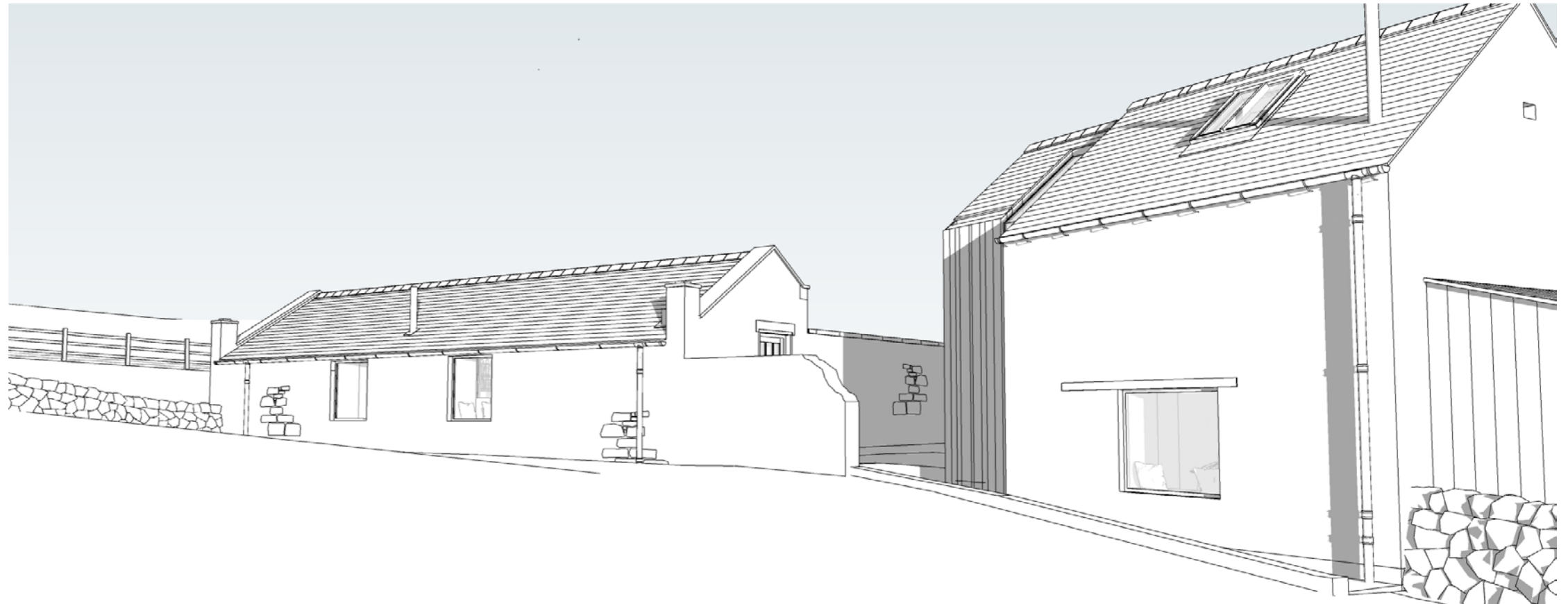


Fig.25 Proposed frontage - scale

4.0

APPEARANCE - Keepers Cottage



Fig.26 3D visual of the property on approach from the road (for illustrative purposes)

The appearance of the cottage extensions both front and back are complimentary to the existing building. The new side addition matches that of the existing front facade (fig 26) and maintains the look and feel of the front facade from the access road. A deep setback to the front of the side extension provides adequate relief to maintain the hierarchy of the front facade (fig 27). The eaves line of roof and dormer window match that of existing.

The New gable facade (fig 28) of the side and rear extensions mirror the existing with the addition of a complimentary drop in height to the ridge line. The protruding roof lines match that of the existing. Rain water goods are to match that of the existing.

New fenestration to the gables reflect the openings of the existing but remain simple to clearly distinguish old from new without over complicating the facade, a method used on both the out buildings. The two gable openings are installed with grey frame windows to further simplify the facade maintaining emphasis on the principle facade.

The following page illustrates four additional views of the property, fig 29 shows how the simplicity of the original rear facade is re-introduced into the new additions. The drop in roof lines and exposure of gables maintains the extent of the original building extent with the new additions in place.

The new dormer to the rear replicates the front roof dormers, the new dormer to the rear helps to break up the mass of the roof and provides complimentary interest to the rear roof scape with out formalizing the appearance (fig 30).

Figure 31 illustrates the extent and appearance of the new external porch and entrance. The existing roof line is maintained and extruded to provide shelter from the elements while the gable end is exposed with timber post and frame taking inspiration and design from the existing sun-room.

The new rear main entrance door location is welcoming and in-keeping with building within the area. The existing opening is in-filled with stone to match with a new window. This will maintain daylight into the space (kitchen) while enhancing this corner of the building in a complimentary way. Figure 39 shows that the new additions to this side are light and barely noticeable from the road.



Fig.27 3D visual of the property - side extension (for illustrative purposes)



Fig.28 3D visual of the property - new gable elevations (for illustrative purposes)



Fig.29 3D visual of the property - new gable elevations + rear facade (for illustrative purposes)



Fig.30 3D visual of rear of property from new parking area (for illustrative purposes only)



Fig.31 3D visual of front entrance of property with new porch canopy (for illustrative purposes only)



Fig.32 3D visual of front of property (for illustrative purposes only)