

# 4.0

## APPEARANCE - The Bothy



Fig.33 3D visual of the property on approach from the road (for illustrative purposes)

The appearance of the bothy, while extended with a small addition, retains its appearance with new grey framed door and window to blend the frame with the glass minimising the effect of the new window and door on the overall composition of the front facade.

The existing adjoining side shed will be re-clad with timber boarding as existing to maintain its lifespan and use. The appearance of the shed is in-keeping with the family of buildings and is of low hierarchy.

The new extension (fig 35) is similar in appearance to that of the side shed but over two storeys to allow for the upper accommodation. The vertical timber cladding will age to a silver grey to blend in with its natural environment. No additional windows have been introduced to the gables or the front facade, this is to honour the original building form and appearance from the road. The rear facade is not visible from the road and provides private views and natural daylight into the new addition through a slot full height window, the verticality of the opening allows for exposure of the original side gable providing visual separation between old and new.

Attention to details such as concealed rainwater goods of the addition helps to minimise the impact of the new addition so that it remains subservient to that of the original building.

A new opening is provided to the rear (fig 33), to allow for private views of the field. The new opening matches that of the two new openings of the kennels. Grey frame window as illustrated maintains the simplicity of the new opening and subtly compliments the facade with further interest.

Landscaping around the bothy is altered with a small stone retaining wall below ground level as illustrated with simple gravel around the perimeter. The bothy still visually remains nestled within the carefully adjusted landscape so the appearance and setting is maintained.



Fig.34 3D visual of the property - side extension (for illustrative purposes)



Fig.35 3D visual of the property - new gable elevations (for illustrative purposes)

# 4.0

## APPEARANCE - The Kennels

The appearance of the kennels remains as existing with the addition of 3 new simple openings which compliment the building and provide function to make the proposed spaces work. The façades are to be carefully restored and areas such as the damaged water-table repaired to make good. A new roof will be installed with slate to match that of existing.

The existing openings are updated with new window and doors as existing providing improved access and suitability for use.

New openings are installed with grey frame windows which match that of the new bothy opening and cottage gable openings so they appear unified and as a family of components. Architectural design which mirrors the methodology of the original design.

The new opening to the front is private and the full extent of the opening is visually blocked from the road and front elevation by retention and restoration of the existing kennel yard compound walls and railings. The opening provides access and connectivity to the yard space (kennel amenity) providing a unique experience to the guests. The new opening would also provide easier access for wheelchair users allowing for an improved inclusive guest facility.

The charm of the original building is maintained and the use brought up to date so the existing appearance of the building does not degrade further.

Landscaping is simple with the yard areas restored with new stone paving which will minimise maintenance and provide private space for users to enjoy.



Fig.36 3D visual of the property on approach from the road (for illustrative purposes)



Fig.37 3D visual of the property - side extension (for illustrative purposes)



Fig.38 3D visual of the property - new gable elevations (for illustrative purposes)

# 4.0

## APPEARANCE - Setting



Fig.39 3D visual of the property - driveway approach (for illustrative purposes)

The overall setting of the site and its buildings retains the existing look and feel of the site while bringing new opportunities to the site through the use of the restored/adapted outbuildings.

New interventions and extensions of the existing buildings provides a cohesive design. The proposed works and additions are subtle and in-keeping with the setting and barely noticeable from the roadside apart from the cottage side extension which carefully balances the overall mass of the facade enhancing the street frontage without being overpowering.

The buildings naturally nestle within their environment and where new interventions are created to improve the use of the buildings they are understated and complimentary to the site providing a carefully consider approach which has been explored with a planning consultant on behalf of the Northumberland National Park Authority.

Boundaries and landscaping will remain as existing or repaired to maintain the soft edge of the site to naturally maintain the visual amenity.



The proposals should be well received as the development enhances the site and allows for potential new visitors to enjoy and experience the natural beauty of the area. While the existing cottage amenity remains the same and unchanged, visitors will remain private and contained with both the Bothy and Kennels enjoying their own private amenity space.

The Bothy will allow for guests to use the adjacent private field space as a direct amenity and the Kennels will enjoy the adjoining yard space of the kennels. This will mean that any use of the outbuildings as holiday lets will be managed within the site to maintain the existing visual amenity and appearance of the site from the main road.

Fig.40 3D visual of the property - view from top corner of field within site boundary (for illustrative purposes)



Fig.41 3D visual of the property - driveway approach with outbuildings in distance (for illustrative purposes)



Fig.42 3D visual - aerial view of turning head and discrete parking area (for illustrative purposes only)



Fig.43 3D visual - aerial view of turning head and discrete parking area (for illustrative purposes only)



Fig.44 3D visual view back down drive from turning head (for illustrative purposes only)

# 5.0

## ACCESS

Existing vehicular site access is maintained with the addition of new parking spaces within compound of the field, this will reduce the visual impact of parked cars significantly from the road side as the field is surrounded by a natural stone wall.

Existing parking on the site is provided on the long driveway and a total of 4 private spaces are currently provided however the numbers are compounded by back to back parking which is not ideal for visitors, access or maintenance.

The parking strategy has been developed with the recommendations of our planning consultant / Pre-application. A total of 4 parking spaces are provided with associated turning space to allow users to exist the site head on. The parking area within the field will provide the following parking;

- x2no. private spaces for the main dwelling - Keepers Cottage
- x1no. private spaces for guest use - The Bothy
- x1no. private space for guest use - The Kennels

All of the above spaces are located safely within the parking area which in turn will improve the visual appearance of the property from the front and visual amenity. The clear driveway will provide suitable access for maintenance, visitor access and fire tender / emergency access.

Refuse access will be as existing with collection by the road side.

Pedestrian access is improved by clearing the driveway of parked vehicles. Access to the main dwelling - Keepers Cottage will be as existing with no change. Access to the Bothy and Kennels are from a path up to the accommodation via the parking area. Hard landscaping is kept to a minimum to maintain the natural appearance of the site.

Trees are retained as existing and maintained accordingly as existing.

Wheelchair access is possible with the proposed works. While wheelchair access is possible within the cottage, the side extension will provide a private snug which can be used as a ground floor bedroom making the cottage inclusive and improving the long term life use of the cottage for the owners. Wheelchair access is provided within the kennel proposal, the new opening to the front allows easy access and opportunity for improved turning within the space and level access directly into the private yard amenity space.

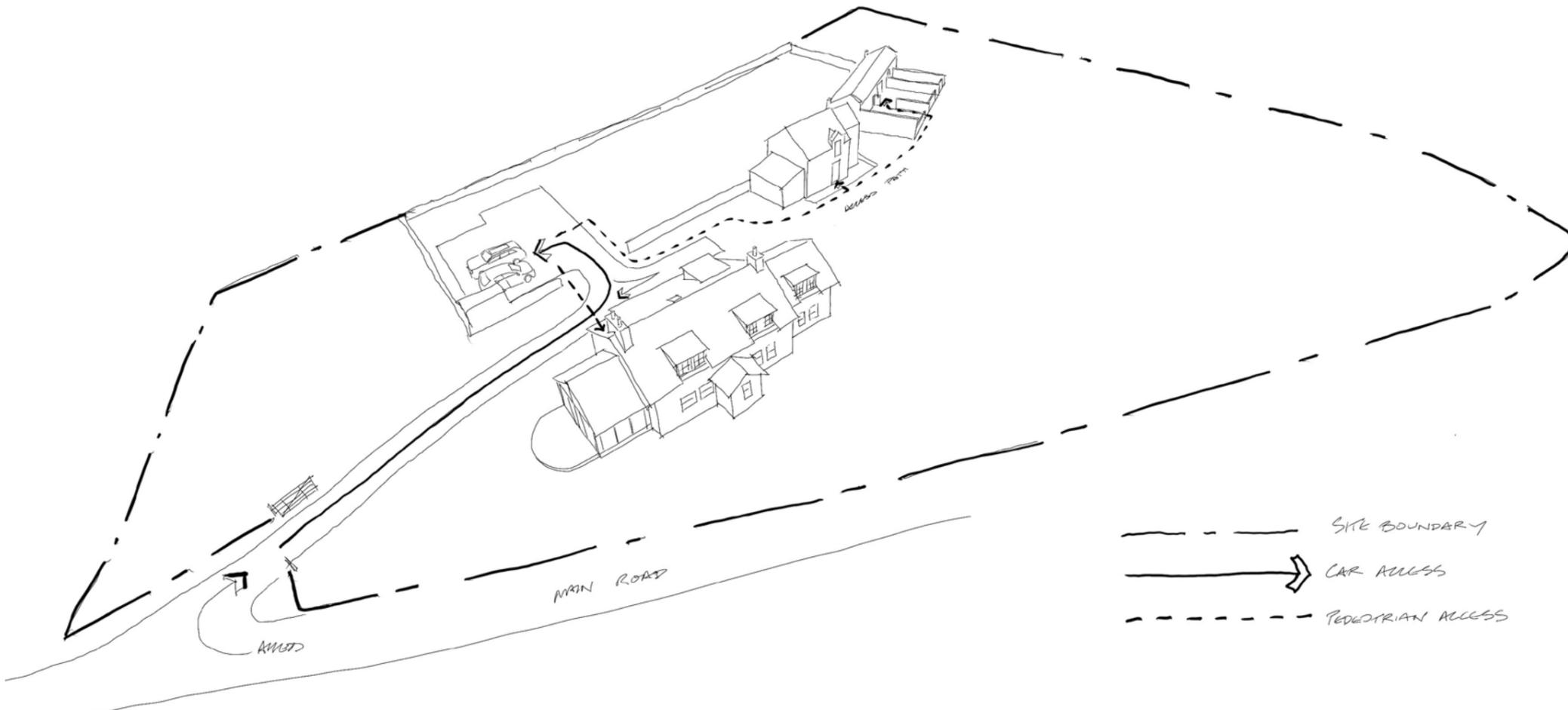


Fig.46 Diagram to illustrate access

# 6.0

## ADDITIONAL INFORMATION

6.1 - Ecology: A bat desktop study and site survey was undertaken in 2019, the survey was submitted as part of the full application.

Mitigation - preliminary proposals are to include:

Should works on site be likely to impact on bat roosts (through loss of or modification of roosts and/or their access points or significant disturbance) it will not commence until a Natural England development licence for the relevant structure(s) has been obtained. Otherwise works will proceed to a precautionary method statement.

Access routes to the cottage loft void will be retained (either existing access routes, if they are unaffected, or new access routes provided should these be in the location of the extension) so the identified roost can continue to be used in the long term.

Roosting opportunities will be created within the bothy and kennels.

Bat boxes will be provided on trees within the garden.

Works will be timed to minimise risk of harm to breeding and hibernating bats (see Section E of the bat report for details).

If works to the buildings are undertaken or branches are felled during the bird breeding period (March to August), a checking survey will be undertaken by a suitably experienced ornithologist.

Bird boxes and a barn owl box will be erected on trees.

Lighting around the site, following on from conversion, will be low level and low lux, with minimal light spill on the wooded garden.

6.2 - Drainage: The existing septic tank is suitable for 5 bedrooms. The proposed scheme has 3 bedrooms in the cottage, 1 bedroom in the bothy and 1 bedroom in kennel to a sum total of 5 bedrooms, the existing working septic tank is therefore suitable for the proposed scheme. The total discharge with the equivalent of 5 bedrooms falls within the limits for registration.

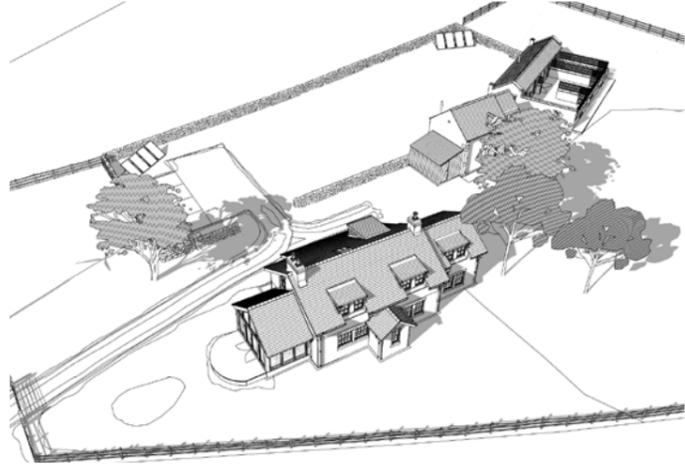
6.3 - Dark skies: The site is located within the National Park and enjoys dark sky status. External lighting will be motion sensor detected and shaded to prevent light pollution.

**D+A**

# 7.0

## APPENDIX

This appendix contains the drawings formally submitted for planning approval and relevant documents noted in this report.





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25 April 2006

Dear Mr. Nicholson

#### Proposed Extensions – Keepers Cottage, High Green, Tarsset

I write with reference to the above and further to our meeting of 7 April and the information provided. As agreed I am writing to confirm the pre application advice given and my suggestions for the appropriate treatment of the extension.

With regard to the proposed conservatory I can confirm that the scale and position of this is acceptable. The design of the conservatory as fully oak framed does need to be handled with care in order to be sympathetic with the general style of the dwelling and the local architecture. In this respect I would suggest any framing needs to be relatively simple and consistent with the design of roof and barn construction found in the area. The national park design guide which you have a copy of will be useful in this respect.

In relation to the proposed 2 storey extension I do have some concerns at the approach being adopted. Whilst I feel an extension can be acceptably added to the dwelling I believe it does have to be relatively simple in style in order to be consistent with the appearance of the dwelling. I do not feel the current proposal which introduces an offset second ridge line would maintain this simplicity. In order to be more acceptable I would suggest that an extension should be built directly off the existing gable elevation. This should essentially maintain the existing ridge line, all be it with an appropriate set back and step down in height in order that the extension remains subservient to the existing dwelling. In a similar manner the front elevation of the extension should be set back behind the line of the front elevation of the dwelling. The published design guide again provides advice on this. This set back should be sufficient to allow the quoins on the corner of the building to remain unaffected by the extension. At the rear I am happy that the existing undeveloped corner of the building footprint can be incorporated into the extension. This would be integrated with the extension, most appropriately through the continuation of the existing roof pitch.



Northumberland National Park Authority



Materials, detailing and finishes in the scheme should match those within the existing dwelling, with features such as the projecting gable eaves being mirrored in any work.

In respect of the two conversion proposals I am satisfied that their reuse for holiday accommodation is an acceptable one and that the buildings are capable of conversion without substantial extension or rebuilding. In relation to the bothy building the addition of an external staircase housed within a simple timber extension appears appropriate. Again I would highlight that this does need to be set back from the front elevation of the building in order to leave quoins exposed and to achieve a reduction in scale of the extension in relation to the existing building. In a similar manner I am also happy with the design approach being adopted in the conversion of the kennel building, through the use of existing openings and the simple treatment of the structure.

As discussed attention should be given to how these buildings would be accessed and serviced and I would suggest that any amenity and parking areas for these two units would most appropriately be sited to the rear of the buildings.

I would ask you to note that both these conversion proposals and any extension works which interrupt or affected the roof of the existing dwelling would need to be accompanied by a bat and owl survey.

I hope that this information is of assistance and confirms the position for you. I would suggest that once the proposals have been worked up further it would be appropriate to resubmit these for further comments prior to an application being submitted. If in the meantime however you require any further information or clarification please do not hesitate to contact me.

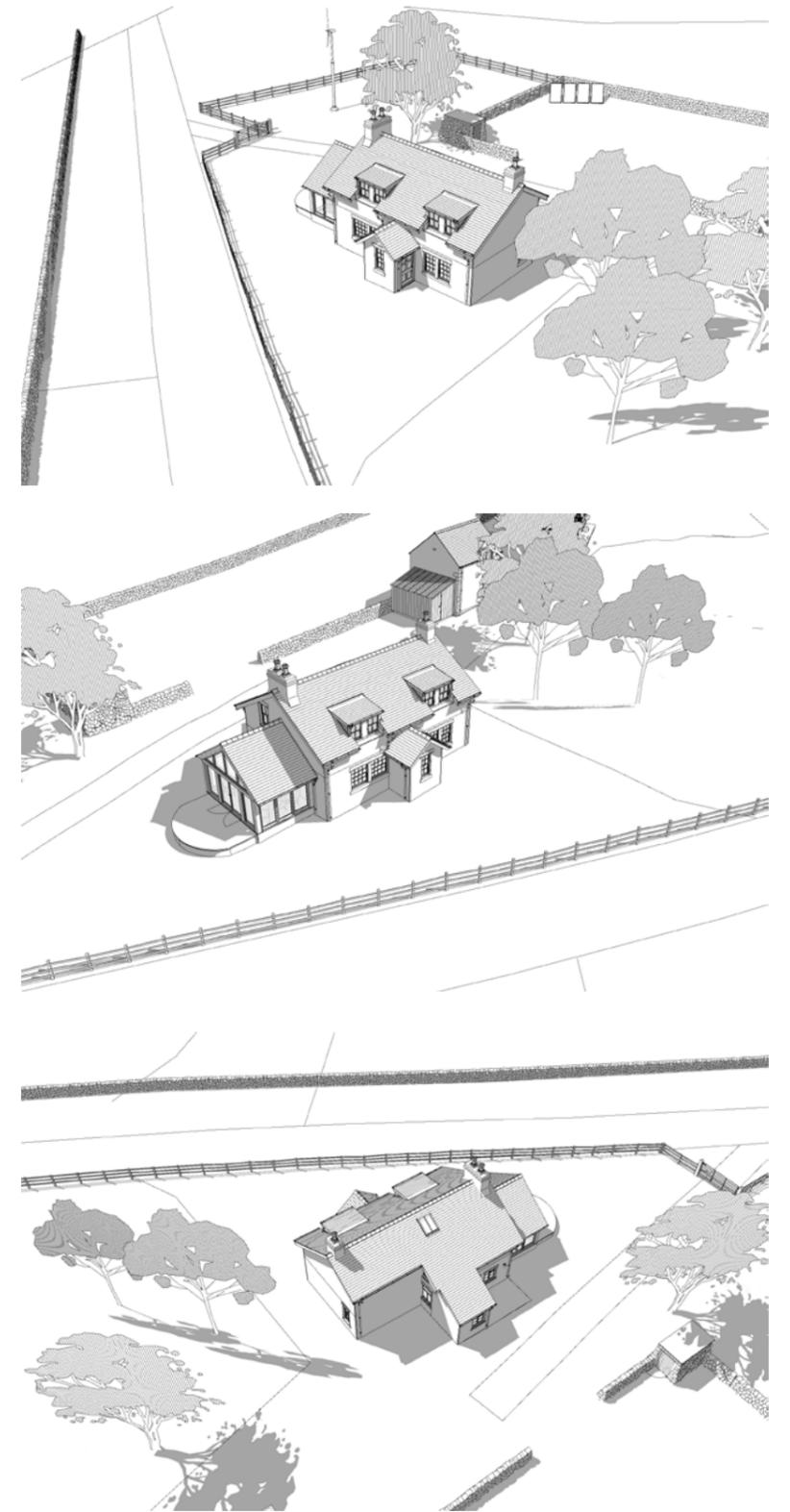
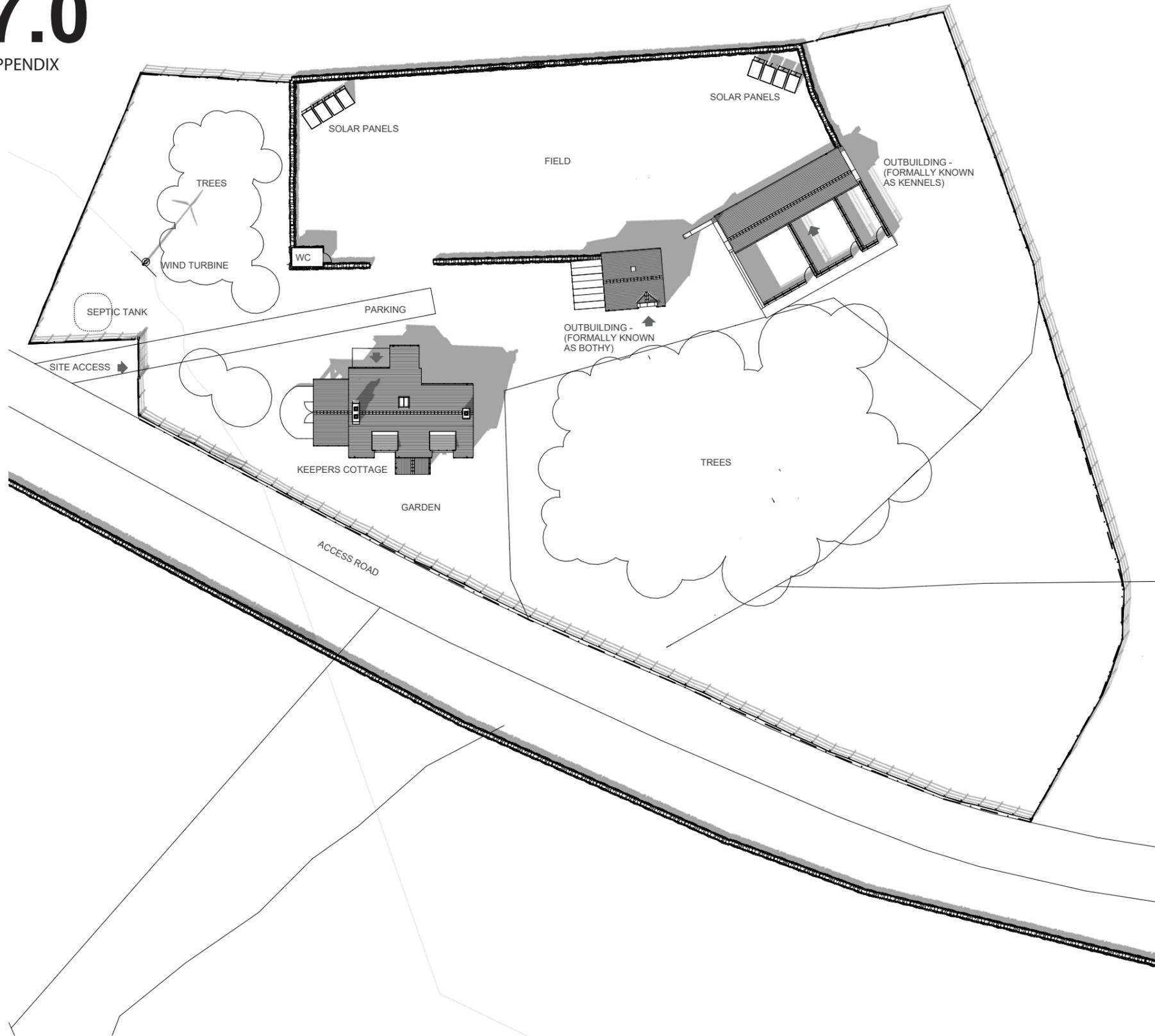
Yours faithfully

Mr. Robin Wood  
Planning Consultant  
On behalf of Northumberland National Park Authority

Please reply direct to the case officer at:  
Northumberland County Council, Community & Environmental Services, County Hall, Morpeth, NE61 2EF.

# 7.0

## APPENDIX



1 EXISTING SITE PLAN  
02 SCALE - 1:100



0 1m 2m 5m

REV C - 30.10.2019 - PLANNING ISSUE



STATUS: PLANNING

REVISION: C