

# PLANNING STATEMENT

AMENDMENTS TO REPLACEMENT DWELLING AND OUTBUILDINGS  
AT EVISTONES COTTAGE  
MR JAMES PRITCHARD





# Rural Solutions

## PLANNING STATEMENT

### LOCATION

EVISTONES COTTAGE

### PROPOSAL

REVISED SCHEME FOR REPLACEMENT DWELLING AND  
THE PROVISION OF NEW OUTBUILDINGS FOR  
AGRICULTURAL AND DOMESTIC USE

### APPLICANT

MR JAMES PRITCHARD

### ISSUE DATE

17<sup>TH</sup> FEBRUARY 2020

### DRAFTED BY

KATE GIRLING  
SENIOR PLANNER, MRTPI

### REVIEWED BY

JOANNE HALTON  
HEAD OF PLANNING

### AUTHORISED BY

JOANNE HALTON  
HEAD OF PLANNING

CANALSIDE HOUSE  
BREWERY LANE  
SKIPTON  
NORTH YORKSHIRE  
BD23 1DR

01756 797501  
INFO@RURALSOLUTIONS.CO.UK  
WWW.RURALSOLUTIONS.CO.UK  
REGISTERED IN ENGLAND NO. 6839914  
VAT REGISTRATION NO. 972 8082 90

AUTHOR	VERSION	DATE
KG	VERSION 1.0	12/02/2020
DAH	VERSION 1.1	13/02/2020
KG	VERSION 1.2	13/02/2020
JM	VERSION 1.3	17/02/2020

# CONTENTS

1. INTRODUCTION	8
2. SITE AND SURROUNDINGS	9
3. PROPOSED DEVELOPMENT CHANGES	11
4. POLICY CONSIDERATION	15
5. THE NATIONAL PLANNING POLICY FRAMEWORK AND PLANNING GUIDANCE	19
6. PLANNING CONSIDERATIONS	22
7. BENEFITS	25
8. CONCLUSIONS AND PLANNING BALANCE	26

## EXECUTIVE SUMMARY

This planning statement accompanies a full planning application for a revised scheme, incorporating modifications to a previous consent for the demolition of Evistones Cottage, and the provision of a new dwelling and outbuildings for agricultural and domestic use.



### POLICY

- Development should be approved without delay provided there are no adverse impacts which would significantly and demonstrably outweigh the benefits of doing so, Paragraph 11 of the NPPF.
- The justification for the development has been previously agreed and accepted. The proposal has previously been deemed acceptable in policy terms. The proposed amendments do not warrant any different conclusions in this respect.



### MATERIAL CONSIDERATIONS

Planning permission has already been granted for the erection of a replacement dwelling with outbuildings, landscaping and associated development in May 2019. This proposal seeks only minor amendments to that previously approved scheme in order to serve a functional need for the efficient operation of the agricultural holding. The alterations do not result in an increase in floor area for the dwelling. The changes primarily include minor, small scale additions to the outbuilding.

There are no adverse impacts arising from the revised scheme in terms of heritage, landscape, highways or environmental impacts.



### BENEFITS

- The proposed development allows for effective succession planning for the farm operations.
- The proposed amendments will allow for the more efficient operation of the farming operation.
- The construction process associated with the replacement dwelling would deliver economic benefits and local construction jobs as acknowledged by the Local Planning Authority (LPA) in determination of LPA ref: 19/NP0014.



### PLANNING BALANCE

The principle of the development has already been accepted and planning consent granted in 2019. There are no impacts arising from the revised development proposal which can be considered significant. Therefore, the development proposal should be approved without delay.

The proposed development will deliver economic, social and environmental benefits and conforms to the frameworks definition of sustainable development as stated in Paragraph 8.

## I. INTRODUCTION

- I.1: This planning statement has been prepared by Rural Solutions Ltd on behalf of Mr James Pritchard (herein referred to as the “applicant”) in support of a revised planning application for the re-development of Evistones Cottage.
- I.2: This proposal seeks modifications to a previously approved scheme for the demolition of the existing Evistone Cottage and outbuildings, and the erection of a replacement dwelling and outbuildings (LPA ref: 19NP0014). This extant consent is a genuine fallback position in the consideration of this proposal.
- I.3: Whilst the nature of the amendments are minor, due to some of the alteration works requiring land that falls outside of the previous redline, a new application is deemed necessary as an application for minor amendments is not possible. This approach has been discussed in dialogue between Rural Solutions and Mr Jay Smith of the National Park Authority
- I.4: The proposed development sought is for:

*A revised scheme pursuant to LPA ref: 19/NP0014 (Full planning permission for the demolition of an existing dwelling and outbuildings and the construction of a replacement dwelling and replacement outbuildings, including change of use from agricultural land to residential curtilage) granted on 15<sup>th</sup> May, for two small extensions to the outbuildings, relocation of dog pen, and insertion of bi-fold doors on replacement dwelling).*

### CONTEXT

- I.5: This planning statement should be read in conjunction with:
- Planning Statement by Rural Solutions;
  - The suite of amended plans by Michael Hall Associates and Survey Operations;
  - The Ecological Appraisal and Ecological Mitigation Plan by E3 Ecology Ltd;
  - The Drainage Philosophy by Billingham George and Partners;
  - The Heritage Statement by Humble Heritage;
  - Ground Contamination Report; and
  - The Landscape Masterplan and Visual Study by Rural Solutions Ltd.

## 2. SITE AND SURROUNDINGS

### LOCATION

- 2.1: The planning context of the application site, Evistones Cottage, is fully described within the Planning Statement submitted in support of LPA ref: 19/NP0014. However, for ease, we recap in the summary below.
- 2.2: The application site sits alongside Evistones House. The site formerly comprised a disused, two-storey stone-built dwelling with attached barn/garage, and outbuildings. Planning consent LPA ref: 19/NP0014 permitted the demolition of these buildings.
- 2.3: At the time of writing, the applicant has commenced planning consent 19/NP0014 granted in May 2019. The relevant conditions have been discharged (as set out further in Section 3). The applicant is keen to ensure that development on the site can be delivered without delay.
- 2.4: The site is substantially screened from long range views by dense woodland. Evistones Farm is set 4 miles west from Otterburn and 1 mile south of Rochester, located off the nearby A68. The Evistones Estate is situated at the heart of Redesdale and within the Northumberland National Park.
- 2.5: The extent of the site is shown on the series of maps, satellite images and photographs overleaf.

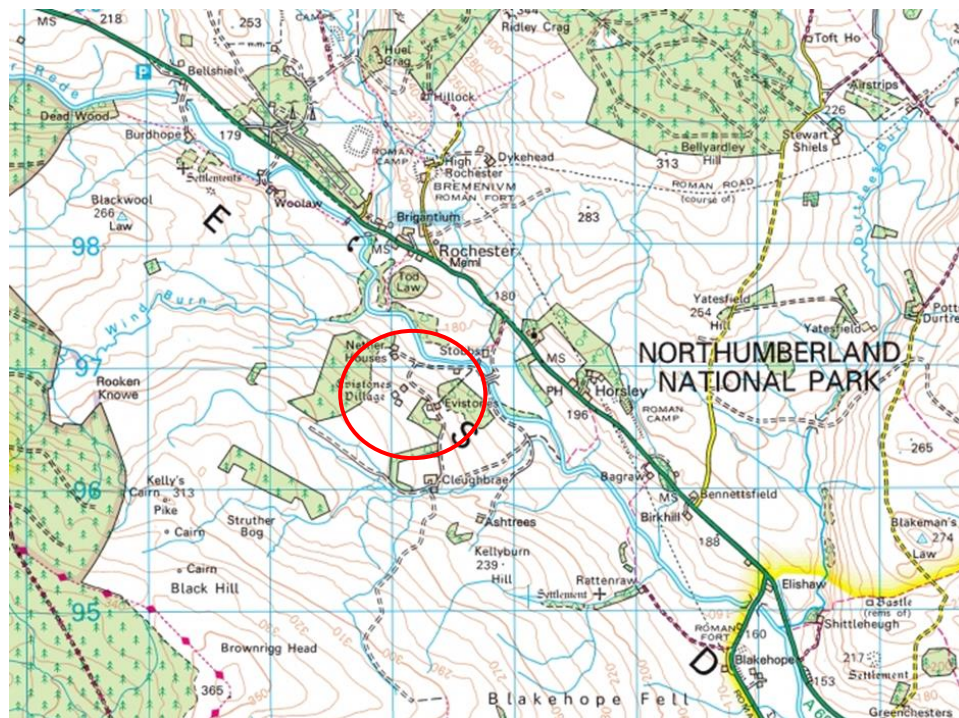


Figure 1: Evistones Cottage within its wider setting.



### 3. PROPOSED DEVELOPMENT CHANGES

- 3.1: Whilst the proposed development seeks full consent for the replacement dwelling and erection of new outbuildings, the scheme remains substantially unchanged from that granted under LPA ref: 19/NP0014. The requirement for a new full application comes about due to an element of the proposed works falling outside of the original redline plan.
- 3.2: It is important to note that the principles of scale, massing, location, design and materials for the site's redevelopment have already been established. This proposal seeks very modest modifications.
- 3.3: The proposed changes to the previously approved scheme are minor in nature and have come about as the result of a process of detailed design 'refinement' with the applicant following the approval of the application in May 2019.
- 3.4: The proposed changes do not materially affect the scheme previously approved nor go to the heart of the permission, particularly when viewed in the context of the wider scheme, the extent of existing buildings on-site and scale of replacement development approved.
- 3.5: The proposed alterations primarily affect the outbuildings and are required for the functional and operational requirements of the applicant, for the storage of vehicles, dog kennels and other equipment. The changes include:
- The erection of an additional outdoor enclosure forming a kennel 'pen' associated with the approved indoor dog kennels.
  - A small extension to the compound room on the north west elevation.
  - The erection of an additional plant room extension to the northeastern elevation of the approved outbuilding.
- 3.6: The proposed alterations are designed to match the surrounding approved outbuilding, built of stone with a slate roof (matching the main Evistones House). The extensions are modest and discretely located. As detailed in the original approval, the proposed extensions, attached to the outbuilding, will serve both Evistones House and the approved new dwelling alongside farming operations. The kennelling/utility would be for working dogs associated with the agricultural estate.

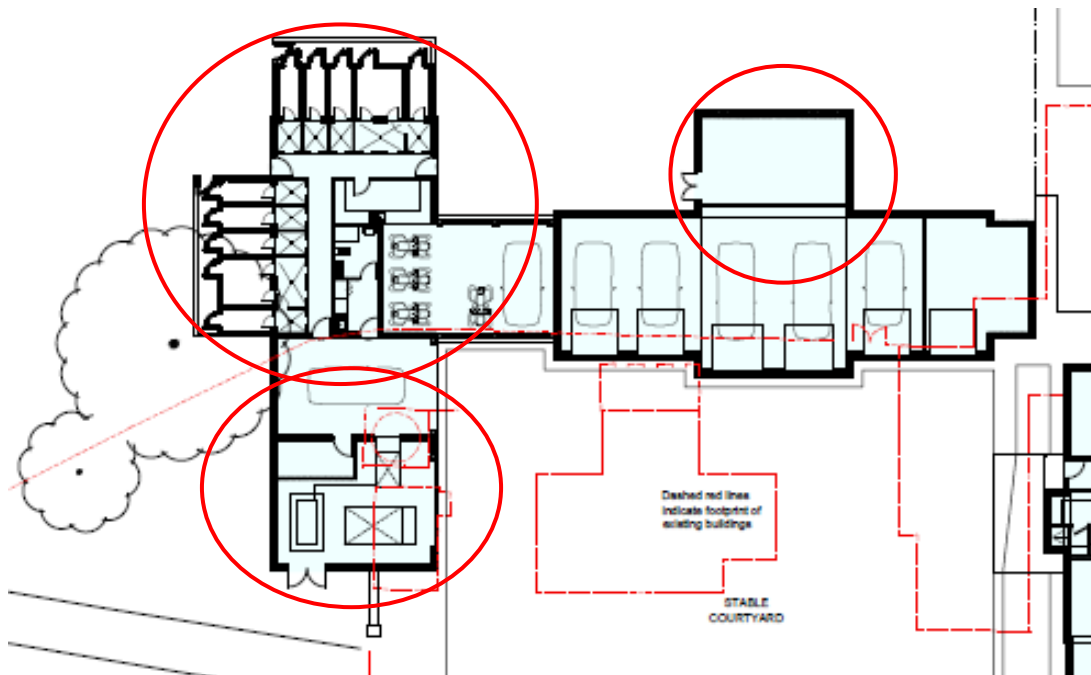


Figure 3: Extract from Amended Overall Site Plan

- 3.7: The amendments to the scheme also include a minor fenestration change to the replacement dwelling through the introduction of bi-fold doors to the north-eastern elevation to allow access to a new terrace (which forms part of a detailed landscaping scheme and is not subject for further approval). No further changes are proposed to the scale or appearance of the dwelling.

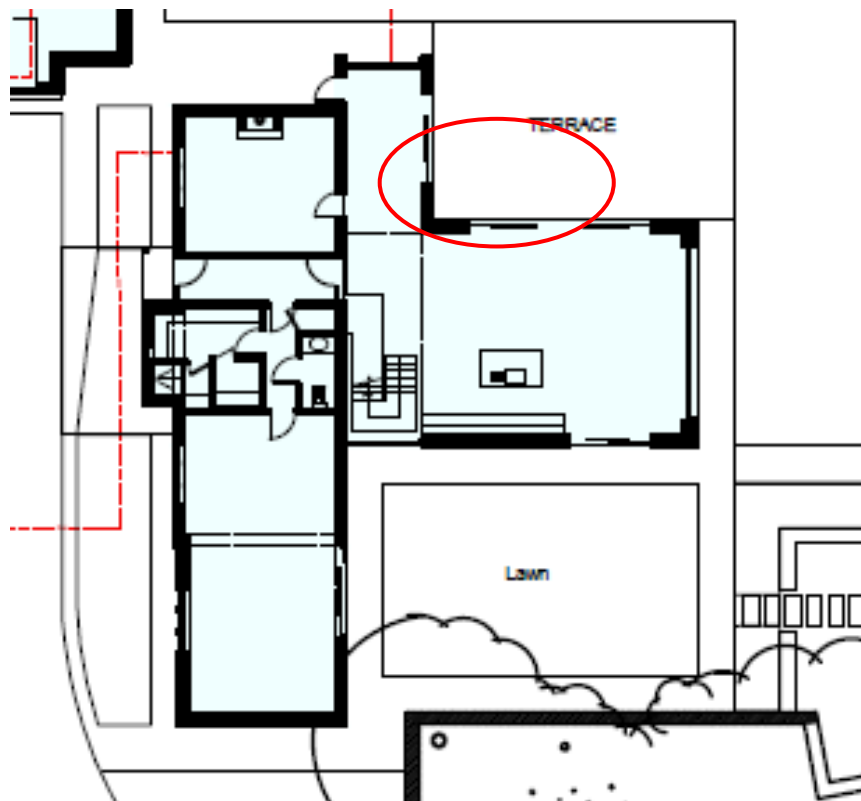


Figure 4: Extract from Amended Overall Site Plan

## SCHEDULE OF AREAS

Proposed Development	Consented SQM (GEA)	Proposed Amendment SQM (GEA)
<b>Proposed Garage/Outbuilding</b>		
Footprint	390sqm	490sqm
<b>Proposed Cottage</b>		
Footprint	222sqm	222sqm
Volume	1,052sqm	1,052sqm
Floorspace	267sqm	267sqm

- 3.8: The schedule demonstrates that the floor space of the replacement dwelling remains as consented. The outbuildings are extending by a further 100sqm. This is comprised of the piecemeal extension of the northern elevation adding an additional plant room, the extension to the compound room previously permitted and alterations to the kennel arrangements. No increase in floorspace of the proposed cottage is sought.

## SITES PLANNING HISTORY CONTEXT

- 3.9: Planning permission was originally granted in May 2019 (LPA ref: 19NP0014) for the proposed replacement dwelling and outbuildings. The proposal sought the removal and replacement of Evistones Cottage and outbuildings with a detached two-bed dwelling; and the removal and replacement of the detached single garage and 3-bay garage with an 'L shaped' building containing a timber store and workshop, 5-bay garage, quad store, kennels, vehicle wash bay and fuel store. The application also sought the change of use of agricultural land to residential curtilage.
- 3.10: It is fundamental in the council's consideration of this amended proposal to note that the principle of the development has already been deemed to be acceptable via LPA ref: 19/NP0014. In this instance, the applicant is seeking only a very minor addition to the outbuildings floorspace, over and above that already accepted.
- 3.11: The scale of development was one of the key considerations in determining the previous application. In the officer's report, it concluded that:

*The proposed replacement dwelling and outbuildings are considered a departure from Core Strategy Policy 5, as the proposals are materially larger than the buildings they replace. However, it is not considered that there would be any additional harm to the immediate and wider surrounding area for the following reasons:*

- The site is remote and contained.*
- There are limited views of the site from the public domain.*

- *The size of the proposal would cause no more harm than the existing buildings.*
- *The primary concern is the loss of an asset not the size of its replacement.*
- *The proposal is similar to what it replaces.*
- *The buildings are to be located sufficiently far from Evistones House reducing their impact on their immediate surroundings.*

3.12: This revised scheme seeks very modest alterations to the outbuildings, which are required for their functional operation, and to allow more efficient operation of the agricultural holding. These changes became apparent during a detailed design review that occurred when the applicant was preparing to commence development. The changes, including the fenestration change to the replacement dwelling for which no further changes are proposed, will have no bearing on the conclusions that were previously reached in finding the development acceptable.

3.13: The applicant and his family are keen to progress with the development and have already sought to discharge a number of planning conditions attached to the original planning permission.

3.14: The previous consent was granted subject to 10no. conditions, with 3no. conditions (conditions 3, 5 and 9 relating to Lighting, Solar Roof Panels & Historic Building Recording) requiring the submission of further detail. These details were submitted to the authority and discharged under application reference 19/NP/0092.

## 4. POLICY CONSIDERATION

- 4.1: The current local plan for Northumberland National Park (NNP) comprises the Core Strategy and Development Policies document (2009), which is supported in its implementation by the Building Design Guide SPD (2011), Landscape Strategy SPD (2011) and Otterburn Camp SPD (2007).
- 4.2: These documents currently set the strategic spatial planning policies and guidance for the National Park for the plan period up to 2024. Government guidance stipulates that a Local Plan should be reviewed at least every five years (from adoption) which means that the current suite of development plan documents is out-of-date and needs to be reviewed.
- 4.3: The Northumberland National Park Authority is currently undertaking a review of the Local Plan. The draft Northumberland National Park Local Plan was submitted on the 30<sup>th</sup> September 2019 with the Examination scheduled for January 2020.
- 4.4: In the interim, until the new Local Plan is adopted, the existing Core Strategy policies, adopted in March 2009, guide development within the National Park and are used in the determination of planning applications. Having regard to the NPPF, it is clear that a number of policies of the Core Strategy are considered to be out-of-date given they pre-date the NPPF.
- 4.5: In considering the proposed development against the local development policies, it is fundamental to acknowledge that permission has already been given for the replacement dwelling and outbuildings. Full consideration of the principle of the development against the Core Strategy policies as set out in the Planning Statement dated February 2019.
- 4.6: Therefore the assessment below considers the impact of the proposed amendments against the relevant planning policies as that permission is now extant.

### CORE STRATEGY POLICY 5 RELATES TO THE GENERAL LOCATION OF NEW DEVELOPMENT

- 4.7: Policy 5 states that in the open countryside, the development will be limited to the reuse of existing buildings. New buildings will only be permitted where it can be demonstrated that:
- a) The development cannot take place in an identified local centre, smaller village, or through the reuse of an existing building; and i.) it will conserve or enhance the special qualities of the National Park; and ii). it will provide opportunities for the public to understand and enjoy the special qualities, whilst not negatively impacting on them; or
  - b) It is replacing an existing building and the new building is not materially larger than the building it replaces. If the building is to be rebuilt for

residential use, then evidence will be required to demonstrate that residential use was the lawful use of the building immediately prior to its demolition (our emphasis).

4.8: **RSL comment** - Given the principle of redeveloping the site for a replacement dwelling and outbuildings has already been established, the key material planning considerations associated with the current extension proposals are considered to be design, visual impact and residential amenity; and impact on National Park special qualities (landscape, ecology, cultural heritage and tranquillity).

4.9: The officer's report for the approved application confirms that the proposal, as approved, would result in a sympathetic and subordinate development that mirrors the existing relationship between Evistones House and Evistones Cottage. The proposed extensions to the rear of the outbuilding will not increase the harm of the approved scheme on the immediate area.

#### CORE STRATEGY POLICY 14 RELATES TO A SUSTAINABLE LOCAL ECONOMY

4.10: In order to create and retain a sustainable local economy, the National Park Authority will support proposals which enable:

- a) The creation of new businesses and the expansion of existing businesses which relate to the special qualities of the National Park but do not negatively impact on them;
- b) The expansion of existing employment uses particularly tourism, recreation, farming and other types of diversification which do not negatively impact on the special qualities; and
- c) Home-based employment activities which do not adversely affect neighbours or neighbouring land uses.

4.11: The proposed amendments to the outbuildings, which form the key changes from the previous consent, have been brought about following a detailed design review by the applicant. They are required in order to make the functional operation of the agricultural landholding more efficient and to allow additional storage space. The proposal accords with criteria b above.

#### CORE STRATEGY POLICY 17 RELATES TO BIODIVERSITY AND GEODIVERSITY

4.12: The National Park Authority will protect, enhance, and restore biodiversity and geological conservation interests across the National Park. The authority will particularly encourage proposals which:

- a) Protect and enhance priority species and habitats as targeted in the Northumberland National Park Biodiversity Action Plan;

- b) Include geological conservation and management of sites as identified in the Northumberland National Park Geodiversity Action Plan;
- c) Encourage appropriate opportunities to access and interpret the biodiversity and geodiversity resources of the National Park;
- d) Encourage opportunities for beneficial biodiversity and geological features within the design of the development in line with Natural Area, Northumberland National Park Biodiversity Plan and Geodiversity Action Plan objectives;
- e) Enhance the integrity and provide for the maintenance of an integrated network of habitats particularly where they allow species and habitats to respond the impacts of climate change by allowing for habitat modification and/or species migration; and
- f) Protect soil resources and ensure soils are able to fulfil as many of their functions as possible.

4.13: **RSL comment** - The supporting Ecological Appraisal has been reviewed as part of this amended scheme to ensure that the alterations to the scheme do not have a negative impact on the ecological mitigation previously deemed acceptable.

4.14: The proposed development (as amended) does not adversely affect the National Park or any other habitats or species of nature conservation.

#### CORE STRATEGY POLICY 18 RELATES TO CULTURAL HERITAGE

4.15: The National Park Authority will support proposals which conserve, enhance, and promote the quality and integrity of the cultural heritage of the National Park, particularly those which:

- a) Conserve and enhance Hadrian's Wall World Heritage Site and its setting;
- b) Give particular protection to Listed Buildings, Scheduled Ancient Monuments, Conservation Areas, Historic Parks and Gardens, and Historic Battlefields by only permitting development which does not conflict with national planning policy;
- c) Preserve the special architectural or historic interest of locally listed buildings;
- d) Recognise the opportunities for education and tourism founded on cultural heritage;
- e) Promote the role that cultural heritage has in helping to secure social and economic regeneration; and

- f) Assist local communities in celebrating and enhancing their own cultural heritage, particularly by using and developing locally appropriate arts, traditions and skills.

4.16: **RSL comment** - Evistone House is deemed to be of local heritage importance. The proposed development was previously the subject of scrutiny in this regard and it was deemed that the consented scheme did not have any adverse impact on this local heritage asset. The proposed amendments will have no greater impact on Evistone House.

#### CORE STRATEGY POLICY 20 RELATES TO LANDSCAPE QUALITY AND CHARACTER

- 4.17: The natural beauty and heritage of the National Park will be conserved and enhanced whilst being responsive to landscape change. All proposals will be assessed in terms of their impact on landscape character and sensitivity as defined in the Landscape Supplementary Planning Document. Development which would adversely affect the quality and character of the landscape will not be permitted.
- 4.18: **RSL comment** - The site is remote and completely screened by woodland; the added visual impact of the proposed extensions would be negligible.

## 5. THE NATIONAL PLANNING POLICY FRAMEWORK AND PLANNING GUIDANCE

5.1: National planning policy is included in the National Planning Policy Framework (NPPF) updated in June 2019. Relevant sections of the Framework are appraised below in specific sub-sections.

### PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT

5.2: The presumption in favour of sustainable development, incorporated at Paragraph 11 of the Framework, states that where there are no relevant development plan policies or the policies which are most important for determining the application are out-of-date, consent should be granted for sustainable development proposals unless:

- The application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits when assessed against the policies in this Framework taken as a whole.

### HOUSING DEVELOPMENT

5.3: Section 5 of the NPPF identifies the need to provide a wide choice of high-quality homes to boost the supply of housing.

5.4: Paragraph 68 states that small and medium-sized sites, such as that promoted in this planning application, can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly.

### GOOD DESIGN

5.5: Paragraph 124 of the NPPF states that 'the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve' and that 'good design is a key aspect of sustainable development, creates better places in which to live and work and helps make the development acceptable to communities'.

5.6: Paragraph 131 states that:

In determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

5.7: It is evident from the submitted plans that the buildings will be designed to the highest standard, and that the topography on-site gives an opportunity to utilise

existing features to help blend the development with the existing landscape setting through the proposed landscape scheme.

- 5.8: Great weight should, therefore, be apportioned to the high-quality design of the development in the determination process, in accordance with Paragraph 131 of the NPPF.
- 5.9: It has already been established that the replacement dwelling will be a positive addition to the immediate landscape and has been designed in a manner which is contextual and sensitive and enhances the plot, thus conforming to the requirements of Paragraph 131 of the NPPF.
- 5.10: The modifications to the dwelling fenestration and the small increase in the footprint of the outbuilding are not considered to materially impact the suitability of the proposal.

### THE NATURAL ENVIRONMENT

- 5.11: Paragraph 170 provides general guidance on how the natural environment should be conserved and enhanced and states that the planning system should contribute to and enhance the natural environment by having regard to six identified requirements.
- 5.12: A landscaping scheme and masterplan has been approved as part of the May 2019 planning permission. The approved scheme will have a net ecological benefit over the site's former use, creating a modest habitat for small-scale wildlife and insects through the redevelopment of the site. Ecology mitigation consented includes a bat loft, bat and bird boxes and managed landscaped areas.
- 5.13: The creation of a garden and a landscaping scheme within the site will have a net ecological benefit over the site's current use, potentially creating a modest habitat for small-scale wildlife and insects through the redevelopment of the site. The proposal will also result in overall landscape enhancements.
- 5.14: The proposed amendments sought to the previously approved scheme will have a little, additional impact on the character of the area. The extensions proposed are modest in scale and do not have any significant additional visual impact. They will continue to preserve the character of the local environment in this regard.

### SUSTAINABILITY

- 5.15: Paragraph 8 of the framework outlines how there are three dimensions to sustainable development and how each role should be sought simultaneously through the planning system. However, the framework also recognises that plans and decisions need to take local circumstances into account so that they reflect the character, needs and opportunities of each area.
- 5.16: The approved development will bring forward low carbon, self-sustaining property which is inherently sustainable, and which complies with Core Strategy

Policy 25. The proposed alterations and modifications will have no bearing on the sustainable design previously approved.

- 5.17: Section 2 of the NPPF sets out the social, economic and environmental roles of the planning system. This planning statement sets out the numerous social, economic and environmental benefits of development arising from the proposal in Section 7.

## 6. PLANNING CONSIDERATIONS

- 6.1: Given the principle of redeveloping the site for a replacement dwelling and outbuildings has already been established under LPA ref: 19/NP0014, the key planning considerations associated with this amended proposal relate to the impact of the alterations on design, visual impact and residential amenity; and impact on National Park special qualities (landscape, ecology, cultural heritage and tranquillity).

### PRINCIPLE OF DEVELOPMENT

- 6.2: The officer's report for the approved application confirms that the proposal, as approved, would result in a sympathetic and subordinate development that mirrors the existing relationship between Evistones House and Evistones Cottage. The proposed extensions to the outbuildings and the fenestration change to the replacement dwelling will not increase the harm of the approved scheme on the immediate area.
- 6.3: The modifications proposed are not significant when assessed within the context of the approved scheme. The fenestration change (bi-folding doors) on the dwelling and relocation of the dog pen could be considered to be non-material amendments, whilst the scale of the extensions would be deemed to be minor amendments that could be captured by an S73 application. However, this is not possible as the amendments result in development beyond the original redline boundary. It is more efficient to deal with all of the required design changes within one collective application, rather than result in a development made up of numerous planning consents.
- 6.4: The additional floor space will not result in a development that is of an unacceptable scale. The changes and extensions sought do not relate to dwelling floorspace and do not seek to significantly increase the floor space of the outbuildings. The alterations proposed to seek only to respond to operational requirements and associated design alterations that have been identified at the detailed construction drawing stage.
- 6.5: The site is clearly self-contained with few public viewpoints, surrounded by dense woodland. The revised scheme including the modest extensions continues to reflect the functional needs of the house and farm occupiers, enabling in turn for succession planning for the management of the farm and the next generation to occupy the site.
- 6.6: Policy 21 of the Core Strategy states that in order to recognise the varied roles of agriculture, which include the maintenance and management of the countryside, the National Park Authority will support appropriate development proposals that will enable farming and farmers to become more competitive and sustainable, to diversify and to demonstrate good environmental farming practices.

- 6.7: The addition of the plant room, along with the modest increase in the size of the compound room, will add a small amount of floor area to the outbuilding, however, the quantum of this is not considered material in relation to the scale of development as approved.
- 6.8: The kennel pen, being an enclosure only, would not represent additional developed floor area. The layout of the building is still such that a more functional and aesthetically pleasing courtyard interface between the outbuilding and Evistones House is retained. The overall impact and harm of the new outbuilding extensions to the rear would be negligible and there would be no adverse impact on the wider site nor surrounding landscape.
- 6.9: The proposal continues to represent good design and does not have any further material impact on local character nor the park's special qualities than the development already approved by the authority.
- 6.10: The site is remote and completely screened by woodland; the added visual impact of the proposed extensions would be negligible and the proposals would accord with Policy 3 of the LDF which seeks to safeguard the wellbeing of local communities. The extensions do not in any way negatively impact on the tranquillity of the National Park, particularly given its remote location.

#### DESIGN/SETTING

- 6.11: The proposed amendments will not result in any material changes to the nature of the approved development that will take place at the site. The character and appearance of the scheme remain of the same high-quality that has previously been approved.
- 8.1: The changes would not adversely affect any occupiers of neighbouring land in respect to amenity, changes are internal to the site and do not create a greater impact on the surrounding landscape.
- 6.12: The updated 'Landscape Masterplan' and the accompanying 'Visual Study' detail new planting and soft landscaping. The Landscape Masterplan clarifies the proposed residential curtilage, but this will also be reflected on the location plan.
- 6.13: It is envisaged that the landscaping proposed will be designed and implemented to the highest possible standards using good quality locally sourced materials and native species for planting, creating environmental and ecological enhancements.

#### BIODIVERSITY AND GEODIVERSITY

- 6.14: An Ecological Appraisal and Bat Survey (E3 Ecology Ltd) has been submitted alongside this submission. This has been reviewed and updated as part of this amended scheme. The proposal has relocated the bat loft from the northern end of the outbuildings to the north-west elevation but this has been deemed entirely acceptable in ecological terms. All other mitigation including bird and bat boxes within the peripheral landscaping will be as per the originally approved mitigation plans.

- 6.15: The proposal will not have any adverse impact on the site's local ecology or biodiversity.

## HERITAGE

- 6.16: A comprehensive Heritage Statement (Humble Heritage, December 2018) has been resubmitted as part of this planning application. The Heritage Statement notes that the proposed replacement of Evistones Cottage and associated outbuildings will create a functionally and aesthetically coherent courtyard arrangement at Evistones House, with accommodation and facilities suited to modern domestic and agricultural needs that will better support the farming business at Evistones.
- 6.17: The Heritage Statement goes on to state that the current farmstead is of local significance with Evistones House having the greatest architectural (design) interest and historical interest given its known date, ownership history and designed features. However, the design interest (aesthetic heritage value) is still modest with the Northumberland County Council Historic Environment Record (HER) entry stating that it is 'not an attractive house'.
- 6.18: In comparison, the heritage interest of the old stables, barn and cottage is lower and the precise date of construction unknown. The modern garage block with kennels has no heritage significance. Evistones House will remain the primary building on-site (in terms of its size, height and architectural embellishment). This will not alter as a result of the amended scheme.
- 6.19: The proposed buildings will be subservient to this as reflects their ancillary domestic and agricultural uses. The current site arrangement is not a typical or characteristic form in the area and contributes little to the significance of the site, in particular, given changes such as the loss of former yards and the addition of a later oil tank and garage block. This is not an intact historical farmstead and indeed was never designed as such. The proposed courtyard arrangement is more efficient operationally and is more in keeping with courtyard plans seen elsewhere in the region.
- 6.20: The amendments proposed as part of this current proposal will have a negligible impact on the conclusions previously made in respect of heritage impact.
- 6.21: The previously approved scheme included a condition (no. 9) relating to historic building recording. Prior to demolition of Evistone Cottage information to discharge this condition has been submitted and approved by the LPA.

## 7. BENEFITS

- 7.1: The approved development for the replacement of the run-down, dilapidated cottage and outbuildings with a new dwelling and outbuildings represents a real opportunity to enhance the character and appearance of the area, offering significant environmental enhancement.
- 7.2: Over and above the previously recognised benefits, the proposed modifications, whilst small scale, will provide an additional social benefit on the residents of the site. The minor extensions and reconfiguration of the dog pen will maximise the function and operation of the farm holding, and in turn, ensure a good level of amenity for the occupiers of the site accommodation.
- 7.3: The development will further facilitate effective succession planning for the farming operation.

### SUMMARY

- 7.4: The proposed modifications to the approved scheme will ensure further social benefits for the occupiers of the farm as a result of a more efficient site layout. The bi-folding doors with the replacement dwelling will also allow for an enhanced living environment for its occupiers.

## 8. CONCLUSIONS AND PLANNING BALANCE

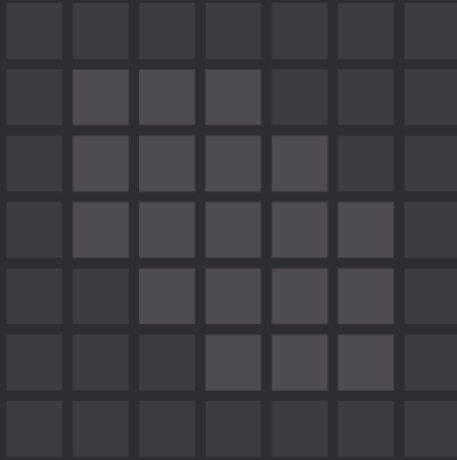
- 8.1: Planning permission has already been granted for the erection of a replacement dwelling with outbuildings, landscaping and associated development in May 2019. This extant scheme is a genuine fallback position. As such, it is only the proposed minor amendments over and above the consented scheme which require consideration.
- 8.2: This proposal seeks only minor amendments to that previously approved scheme in order to serve a functional need for the efficient operation of the agricultural holding. The alterations do not result in an increase in the floor area for the dwelling. The changes primarily include minor, small scale additions to the outbuilding.
- 8.3: The overarching aim of the proposal, as with the originally approved scheme, is to allow for succession planning management of the farm. The outbuilding and associated extensions is a shared facility between the main house and new dwelling, meeting agricultural and residential storage needs.
- 8.4: This amended scheme maintains the functionality and aesthetic qualities of the approved scheme and is submitted as a standalone application due to some of the amendments falling outside of the originally approved red line. The changes sought are, however, considered minor in the overall context of the approved scheme, particularly taking into account the likely impacts of the changes.
- 8.5: The amended proposal represents the opportunity to enable the applicant to deliver this highly sustainable development, appropriate for its location, and dual agricultural and residential use. The modest extensions will not result in any identified harm to the surrounding site nor landscape.
- 8.6: The proposal represents an opportunity to deliver sustainable development appropriate for its location on the site of the existing residential dwelling.
- 8.7: This planning statement demonstrates that the proposal for the modifications to the approved scheme has been assessed against the saved policies of the Northumberland National Park Core Strategy and core principles of sustainable development set out in the NPPF. It has been previously demonstrated, under the original planning consent, that the wider proposal will deliver significant benefits. This proposal will provide further social benefits to its occupiers as a result of a more efficient layout.
- 8.8: There are no other material considerations or technical considerations that warrant the withholding of planning permission.
- 8.9: It is envisaged that consent is granted subject to a condition tying the proposals to the main I9/NP/0014 planning consent, referencing the conditions which have already been discharged.

8.10: In light of the above considerations and review of the minor extension scheme proposed, it is respectfully requested that the authority grant planning permission for the enclosed scheme.

Disclaimer: The information, analysis and recommendations within this document are made by Rural Solutions Limited in good faith and represent our professional judgement on the basis of the information obtained from others. No statement made within this document may be deemed in any circumstance to be a representation, undertaking or warranty and we cannot accept any liability should you rely on such statements or such statements prove to be inaccurate. In particular the achievement of particular goals depends on parties and factors outside our control. Any illustrations and otherwise in this report are only intended to illustrate particular points of argument.

This document and its contents are confidential and will remain confidential until we waive confidentiality or the document is published by a Local Planning Authority.

Copyright © Rural Solutions Limited February 20  
Any unauthorised reproduction or usage is strictly prohibited.



WE ARE RURAL