



DELEGATED DECISION REPORT

Application Reference Number	20NP0101
Description / Site Address	Demolition of outbuilding and construction of timber shed/workshop at Salmon House, Holystone, Morpeth, Northumberland, NE65 7AJ
Expiry date of publicity / consultations	25 January 2021
Last date for decision	16 February 2021

Details of Proposal

This application seeks approval for works within the curtilage of Salmon House, a detached Grade II Listed building located to the north of Holystone and to the immediate west of the Old Barn.

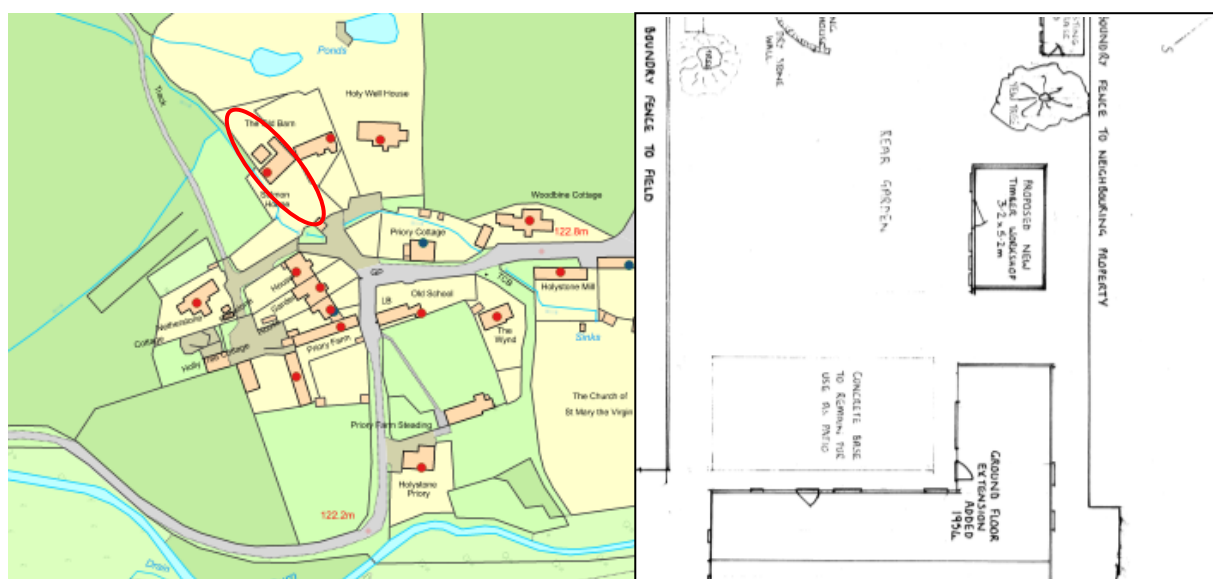


Figure 1: Location Plan

The building was previously a public house with planning permission for change of use to a dwelling issued in 2001. The Listing for the property describes it as such:

Inn. C18 altered C19 and C20. Random rubble with Welsh slate roof. Probably originally a cross-passage house with downhouse. 2 storeys, 5 irregular bays.

Off centre C20 door in 3rd bay has chamfered C18 alternating-block surround. Ground floor windows are C20 casements in original openings. 1st floor windows are small-paned casements in half-dormers. Older, smaller blocked 1st floor windows visible below later openings.

Gabled roof with 2 end stacks and one ridge stack. Left stack has external chimney breast.

Interior has early C18 fireplace with old wood lintel.



The proposed works involve the demolition of a free-standing 1950's block and render outbuilding which is located close to the north-west (rear) elevation of the original building. It is proposed to replace the outbuilding with a new timber workshop / store. Rather than being on the footprint of the demolished outbuilding, the new store would be located close to the boundary with the Old Barn, further to the north of the house. The store would be constructed from timber weatherboarding stained to match the existing garden outbuildings. The roof would be plywood with dark grey felt shingles. Doors and windows would be salvaged from the building to be demolished. The building would have a floor area of 5.2m by 3.2m with a maximum height to the shallowly pitched roof of 2.37m. The store / shed is to be used for purposes ancillary to the residential use of the property.

Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

Northumberland National Park Local Plan

Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy DM2	<i>Householder Development</i>
Policy DM10	<i>Habitats, Biodiversity and Geodiversity</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Night Skies</i>
Policy DM14	<i>Historic Landscape Assets and Built Heritage</i>

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

00NP0055APP	Change of use from Public House to dwelling house <i>Appeal allowed 5th September 2001;</i>
00NP0055	Change of use from Public House to dwelling house <i>Planning permission refused 18th January 2001;</i>
97NP0049	Change of use from Public House to dwelling house <i>Planning permission refused 11th November 1997;</i>



Consultation/Representations

Harbottle Parish Council: No response

NCC Historic Buildings Advisor: No objection

NNPA Ecologist: No objection: Low risk of bats being present.

The application has been advertised by means of a notice displayed at the site on 6th January 2021 and a letter sent to one neighbouring property. No representations have been received in response.

Assessment

The key material planning considerations are:

- The principle of the development;
- Design and cultural heritage
- Amenity
- Impact Upon National Park special qualities

The principle of the development

Sustainable Development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy ST1 of the Local Plan adopts a similar presumption in favour of sustainable development and defines the qualities and criteria which are deemed to represent 'sustainable development'. The degree to which the proposals accord with these qualities is discussed throughout the report. Of particular relevance to this application is part I) which relates to the conservation and enhancement of the natural environment,

Location of Development

The application site is located within Holystone which is identified within strategic policy ST4 as one of the named settlements which will be the focus for new development within the National Park. However Policy DM2 recognises that appropriately designed development within the domestic curtilage of a dwelling is acceptable throughout the National Park. Part 3) of Policy DM2 specifically details the criteria against which new outbuildings will be assessed. Subject to detailed consideration of these criteria (see below), the principle of the demolition of an existing outbuilding and provision of a new workshop / store is considered to accord with spatial strategy advocated by relevant Local Plan policy.



Design and Cultural Heritage

Local Plan policy ST2 places an emphasis on ensuring new development is of high quality design. Local Plan policy DM2, which relates to householder development, states that new outbuildings will be permitted where they are '*proportionate in size*'; '*appropriately sited in relation to the existing built development on site*' and required for '*purposes incidental to the residential use of the main dwelling*'.

Local Plan policy DM14 states that development affecting the built heritage of the National Park should '*reinforce its distinctive historic character by fostering a positive and sympathetic relationship with traditional local architecture, materials and construction*' and '*High standards of design will be promoted to conserve and enhance the built heritage*'.

The proposals relate to the demolition of an existing free-standing rendered block workshop with a profiled sheet roof located to the rear of the property and replacement with a new wooden workshop. The outbuilding is of modern construction (mid 1950s) and is located in close proximity to the main house, preventing views of the rear of the property. As it is not considered that the outbuilding is of any great aesthetic or historic value, there are no objections to its demolition with its removal helping to open up views of the main house which is of more historic / aesthetic importance. Rather than erecting the workshop on the footprint of the building to be demolished, it would be located in a new location to the rear of the property, close to the boundary with the Old Barn.



Figure 2: Building to be demolished

As the demolition of the existing outbuilding / erection of the new workshop involve works within the curtilage of a listed building, the views of the Historic Buildings Advisor have been sought. Having considered the information provided, the Advisor has raised no objection, noting that the 1950s



outbuilding is of brick and render and is of no architectural merit and demolition will help to expose the rear elevation of the building and reconnect it with its garden area. The new wooden workshop is to be tucked in behind the rear extension to the property and is to be stained in a dark colour so that it matches other such timber buildings which currently exist in the garden.

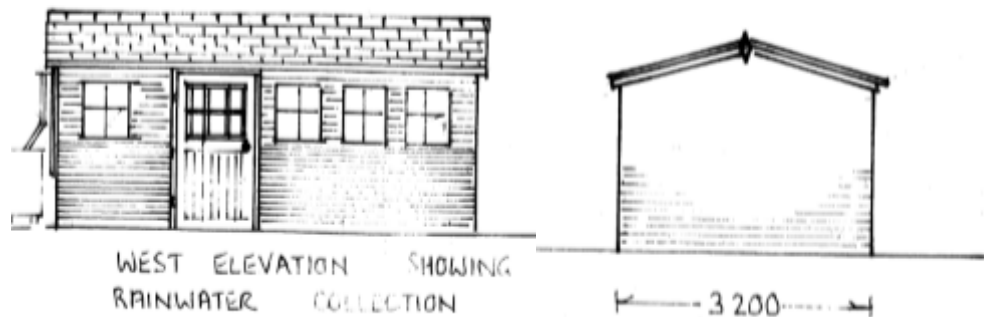


Figure 3: Proposed front (left) and side (right) elevations

On the basis of the above assessment it is considered that the proposals are of appropriate design and will have no detrimental impact on the setting of the listed building or any other heritage assets. The proposals are therefore considered to accord with the relevant requirements of Local Plan policies ST1, ST2, DM2 and DM14 and the NPPF.

Amenity

Amongst others, Policy ST2 states that development will be permitted where 'The proposal will not have an unacceptable adverse impact upon the amenities of occupiers' with Policy DM2 seeking to ensure that new householder development '*does not unacceptably affect the residential amenity of neighbouring occupiers or result in adequate levels of amenity for the existing dwelling*'.

It is not considered that the proposed demolition of the outbuilding would have any impact on the amenity of the residents of neighbouring properties. The new workshop would be located close to the boundary with the property directly to the east, the Old Mill. However, given the orientation of the Old Mill with no direct view towards the proposed workshop, the height of the existing boundary hedges and as the workshop is single storey, it is not considered that the proposal would result in any impact on the living conditions of the residents of the Old Mill (through loss of daylight or sunlight / unacceptable overlooking) of a magnitude which would warrant refusal of the application.

On the basis of the above it is considered that the proposals accord with the requirements of Local Plan policies ST2 and DM2 in relation to residential amenity.

Biodiversity

Local Plan policy DM10 states that the conservation and enhancement of wildlife, habitats and sites of geological interest within the National Park will be given great weight with all development aiming



to 'Maintain and where appropriate enhance features of ecological value and recognised geodiversity assets'.

In this instance as the proposals involve the demolition of an outbuilding with the potential to be used by bats, the NNPA Ecologist has been consulted on the proposals. The Ecologist does not consider that a bat survey is necessary for the demolition of the outbuilding. This view has been taken on the grounds that it is not joined to the main house, is built of rendered breeze blocks with no cavities and has an asbestos/composite sheet roof on top with gaps. The Ecologist has therefore advised that there is low risk of bats being present and / or affected by the works and has raised no objection to the application.

On the basis of the above and as there is a low likelihood of protected species being present or affected by the works; it is considered that the proposals accord with the requirements of Local Plan policy DM10 and the NPPF in relation to biodiversity.

Landscape and Tranquility

Landscape

Policy DM11 states that the natural beauty and heritage of the National Park will be conserved and enhanced whilst being responsive to landscape change. In this instance as the external alterations largely relate to the removal of a modern outbuilding and replacement with a modest timber workshop within the existing residential curtilage, it is considered that any impact on landscape character or visual amenity would be minimal and limited to those discussed in relation to design and cultural heritage (above).

Tranquility

The site is located within the Northumberland International Dark Sky Park. No detail of any external lighting which may be required in connection with the proposed outbuilding has been submitted as part of the application. However, given the location within the International Dark Sky Park, it is considered reasonable to attach a condition requiring details of any external lighting to be installed as part of scheme design to be first submitted for approval by the Local Planning Authority to ensure it is appropriate for use in the Dark Sky Park and to protect the tranquility of the area. Subject to the imposition of an appropriate condition relating to external lighting, the proposals are considered to accord with the requirements of Local Plan policy DM11 in respect of tranquility.

By virtue of the scale, nature and location of the proposals, it is not considered that the proposed development would detrimentally impact upon the tranquillity of the surrounding area in terms of noise or traffic.

Recommendation & Conditions

Grant conditional permission subject to the following conditions:



1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form, received 14th December 2020;
- Location Plan received 22nd December 2020;
- Heritage Statement received 22nd December 2020;
- Design and Access Statement received 22nd December 2020;
- Access Statement received 22nd December 2020;
- Drawing 20/01 Outbuilding removed with new shed / workshop in place, received 14th December 2020;
- Drawing 20/02 Elevations as existing;
- Drawing 20/03 Plan showing existing structures and new workshop and patio;
- Drawing 20/04 Proposed shed / outbuilding;

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies ST1, ST2, ST4, DM2, DM10, DM11 and DM14 of the Northumberland National Park Local Plan and the National Planning Policy Framework (NPPF).

3. Prior to the fixing of any external lighting associated with the development hereby approved, details of the external lighting shall be submitted to and agreed in writing with the Local Planning Authority. Details should include:

- The specific location of all external lighting units;
- Design of all lighting units;
- Details of beam orientation and lux levels; and
- Any proposed measures such as motion sensors and timers that will be used on lighting units.

The approved lighting scheme shall be installed in accordance with the approved details and shall be maintained as such during the operation of the development, unless removed.

Reason: In order to ensure that there is no harmful impact upon the tranquility and intrinsically dark character of Northumberland National Park and the Northumberland International Dark Sky Park through excessive light pollution, in accordance with Local Plan policy DM11 and the NPPF.



Informative Notes

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
 - (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

Background Papers

Application File 20NP0101
EIA Screening Report

	Signature	Date
Planning Officer	C Godfrey	9 th February 2021
Head of Planning and Policy	<i>Susannah Buylła</i>	09/02/2021