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# Design & Access Statement

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Proposed Guest  
Accommodation &  
Eating Rooms at  
The Star Inn,  
Harbottle

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October 2020

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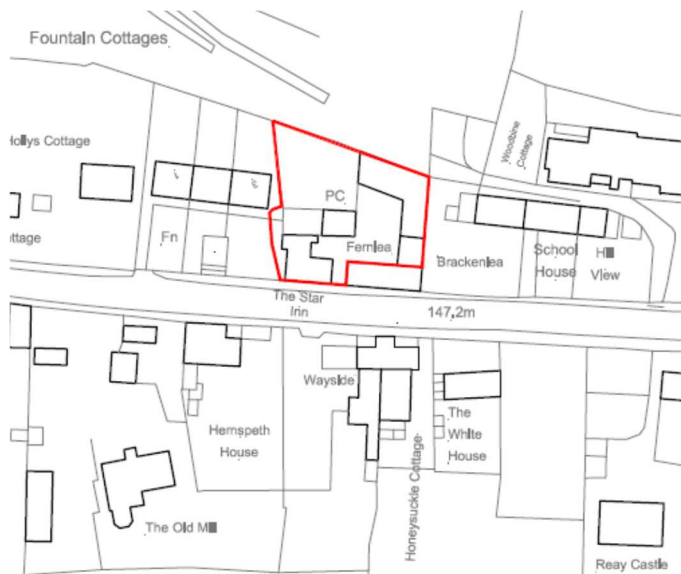
## 1.0 Introduction

- 1.1 The Star Inn is located in the village of Harbottle and within the Northumberland National Park. The property occupies an area of 860sq.m and is located in a prominent position in the centre of the village.



Front Elevation

- 1.2 The pub dates from circa 1850 and is surrounded by local heritage including the ruins of Harbottle Castle to the northwest.



Location Plan

- 1.3 The pub has recently been acquired by the current owners who purchased the property from the previous landlady who 'called time' after 46 years of ownership. The new owners are heavily investing in the property to sympathetically update the premises and to provide additional facilities and offerings.
- 1.4 Investment is essential to ensure the long-term sustainability of a much loved and needed community resource.
- 1.5 The response to the improvements and new offerings at the pub has been extremely positive and a solid customer base is in place. The owners of the pub have responded positively to the Covid-19 pandemic and diversified where required including providing additional services for locals.
- 1.6 The next phase of redevelopment includes the conversion of the garages / stores into eating rooms including a small commercial kitchen and pot wash area and the conversion of the former stables into a bunkroom with associated facilities and two en-suite bedrooms.

## 2.0 Proposals, Design & Appearance

- 2.1 The buildings are traditional in form, design and materials consisting of natural sandstone walling under pitched slated roofs with timber batten doors and timber windows / boarding.

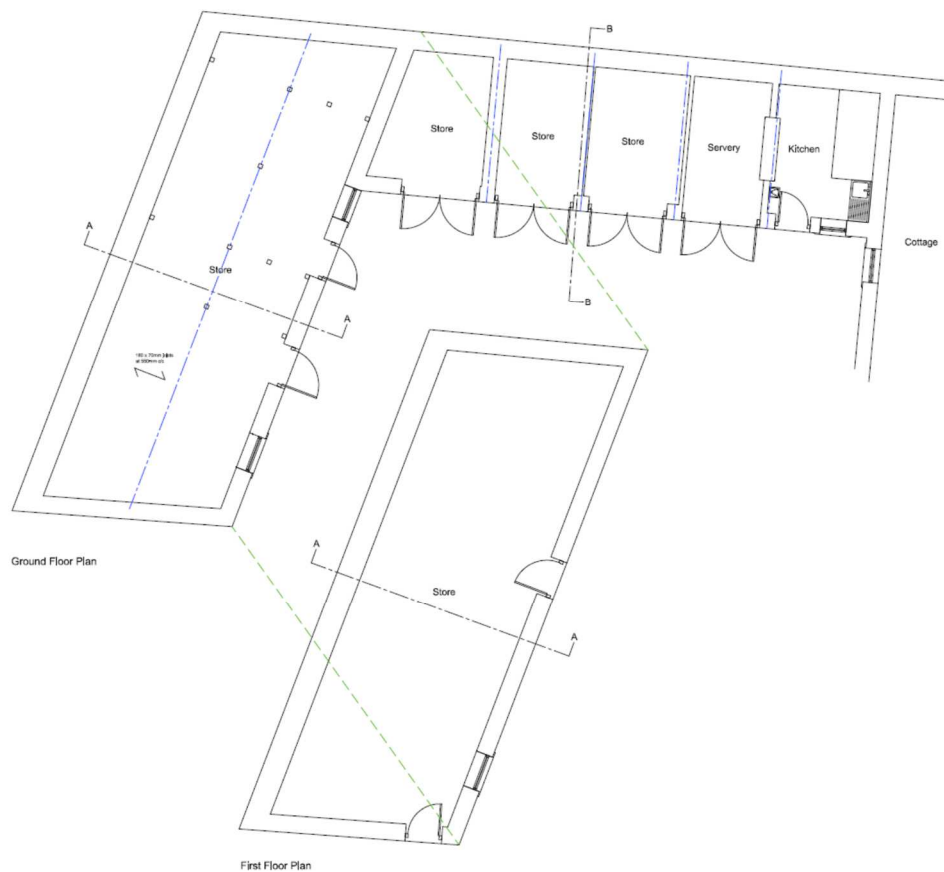


Stables Front Elevation

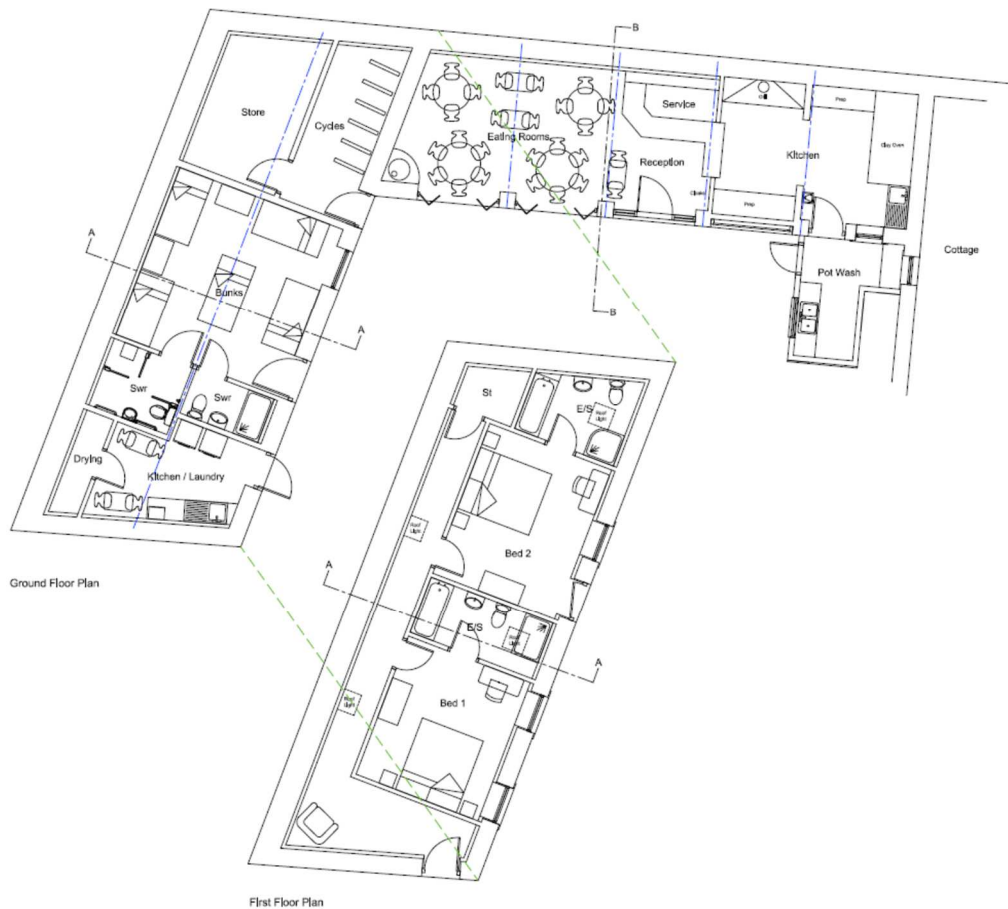


Garages Front Elevation

- 2.2 The two-storey stable building will be converted to accommodate a bunk room, kitchen / laundry, drying room, accessible WC / shower room, shower room, storeroom and cycle storage at ground floor level and two en-suite bedrooms at first floor level.
- 2.3 The single storey garage building will be converted to accommodate eating rooms including reception area and bar / open servery and small commercial kitchen.
- 2.4 A small timber extension is also proposed in the southeast corner of the courtyard to accommodate a pot-wash area.

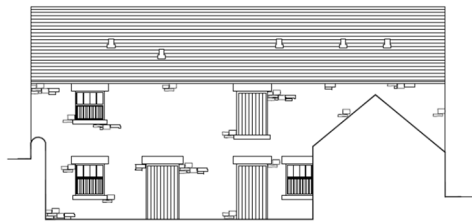


**Existing Floor Plans**

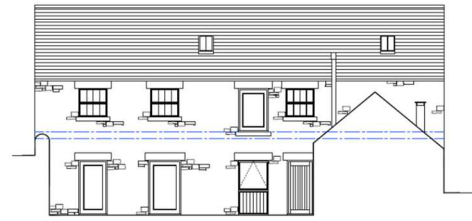


### Proposed Floor Plans

- 2.5 The stable building is two-storeys in height overlooking the courtyard (south elevation) but less than single-storey at the rear where ground is retained. There are no window or door openings located on the north and east elevations, the majority of openings in the southern courtyard elevation. The first-floor of the building is accessed from a door to the west elevation via the pub rear garden. Some of the proposed rooms (bedrooms and bunk room) require both natural light and ventilation, therefore these rooms have to be located on the south wall. Other ancillary rooms, for example the store and cycle store have been located where there are no openings. There are presently three window and three door openings to the south elevation which will be retained and utilised, one window being altered to a door, and a door opening to include a window with timber frame and boarding below. The proposals have been developed to ensure that a minimum of new openings is proposed. Two new window openings are proposed at first-floor only to provide the required levels of daylight and ventilation to the guest bedrooms.

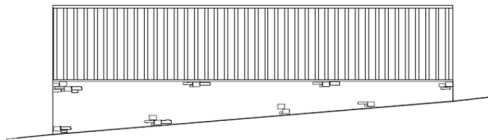


**Existing South Elevation**

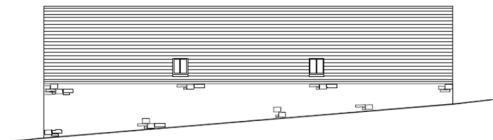


**Proposed South Elevation**

- 2.6 No new openings are proposed to the north elevation to preserve the uninterrupted elevation and no new openings are proposed to the east elevation to protect the amenity of the residential neighbours.

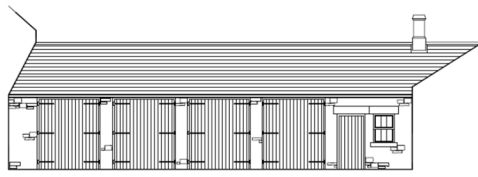


**Existing North Elevation**

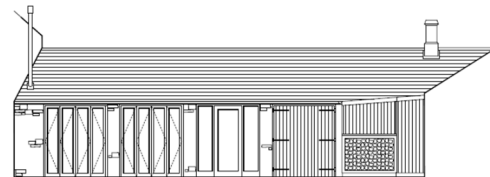


**Proposed North Elevation**

- 2.7 There are currently five small skylights to the south facing roof slope and it is likely that there were skylights on the north facing roof slope prior to the replacement of the slated roof coverings with asbestos cement sheets. The existing skylights will be roofed over when the roof is re-slated and four new small rooflights installed, two in the south roof slope and two in the north. The rooflights will provide natural light and ventilation to key areas including the rear hallway and the en-suite bathrooms. Rooflights will measure 55 x 70cm, will be flush fitting with the slates, black in colour and conservation style to ensure the best possible aesthetics. Only a small number of rooflights are proposed which are appropriate to the scale of the roofs.
- 2.8 The existing openings in the west elevation of the single-storey garages will all be retained and no new openings are proposed. The openings to the left of the elevation will be fitted with tall, folding doors and the entrance / reception opening fitted with a single glass door and side panels. A partition wall will be built within the kitchen behind the double doors to the right of the entrance so that the original format of the elevation is retained.

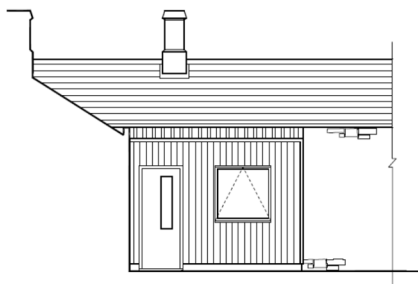


Existing West Elevation

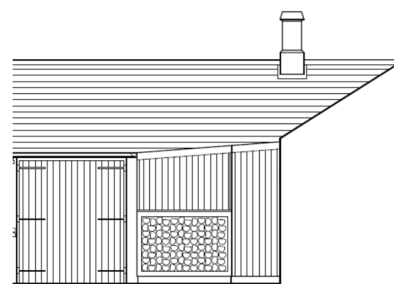


Proposed West Elevation

- 2.9 The proposed pot-wash extension will be constructed in lightweight materials including timber framed walls built off a sandstone plinth and profiled sheet roof and will have minimal attachment to the existing sandstone walls. The extension could be removed in the future with minimal interference to the original structures if required. The use of lightweight materials will also provide a clear distinction that the extension is of a later time and will not affect the clarity of the original structures. The roof will be covered with corrugated steel sheets which will attain a rusty patina in time and are often used in rural locations. The walls will be clad with timber and stained mid-brown. A built-in log store will be created on the west wall which will be an interesting focal point and will be used for storage of fuel for the wood-fired pizza oven. The existing fire-escape window from the adjacent cottage will be retained and unhindered and the external door of the extension fitted with an emergency escape sash lock which can be easily opened from the inside at any time.



Pot Wash Extension North Elevation

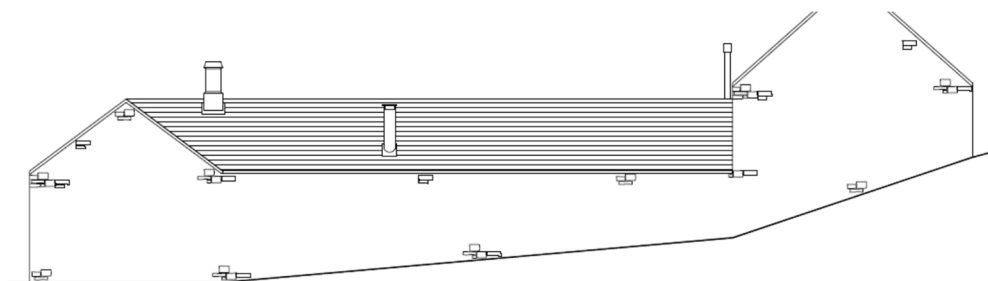


Pot Wash Extension West Elevation

- 2.10 New doors will be utilitarian in design with simple frames and large elements of glass to allow natural light into the rooms. Window styles will match the original and will be 4 over 4 sash formats. Windows and doors will be manufactured in uPVC or

powder coated aluminium to match recent installations in the pub and will be grey in colour. The use of uPVC / aluminium will ensure that a high level of appearance is maintained for many years to come.

- 2.11 Two flues are proposed through the single-storey building roof, one to serve a wood burning stove in the eating rooms and one to serve an extractor hood over the kitchen grille. The stove flue will be 150mm in diameter, black in colour and fixed to the south wall of the two-storey building. This flue will extend 1.00m above the existing eaves. The stove is located adjacent to the courtyard, it was originally proposed adjacent to the east wall but the location was revised so that the flue is as far away from the neighbour as possible and it is less visible from the street. The kitchen extractor flue will be 300mm in diameter, black in colour and located on the east roof slope. The flue will be located towards the bottom of the slope so that the highest point is well below the ridge line. The kitchen extractor will be fitted with noise attenuation and a variable speed controller to ensure it causes very little disturbance to restaurant patrons and neighbours.



**Proposed East Elevation**

- 2.12 Externally, the buildings will be sympathetically refurbished including re-slating of roof where required, re-pointing of walls with natural lime mortar and fitting of new rainwater goods in cast iron or aluminium sections.
- 2.13 Internally, the buildings will be repaired and upgraded including the laying of new ground floor slabs with insulation and damp-proof membranes, the application of cavity drainage membranes where required, the fitting of insulated linings to external walls and the refurbishment of existing timber roof structures.



- 2.14 Internal accommodation will be finished with clean plastered walls and colours from a neutral palette. The roof trusses and purlins will be exposed where possible and elements of stonework pointed with lime to create feature walls. Wall linings adjacent to existing residential properties will incorporate sound attenuating plasterboards to reduce any potential noise transmission.
- 2.15 The proposed alterations and additions will be made using high quality materials and components undertaken by highly skilled tradesmen to ensure the external elevations are enhanced and remain consistent with the original character.

### **3.0 Use**

- 3.1 The existing public house offers a range of alcoholic and non-alcoholic beverages, light snacks, occasional entertainment and al-fresco dining including wood fired pizza. It also incorporates a games room, small convenience store and landlord's accommodation.
- 3.2 The additional proposed uses include:
- A bunk room for up to 10 persons to be utilised by cyclists and walkers;
  - Ancillary accommodation to service the bunk room including kitchen / laundry, accessible WC / shower room, standard WC / shower room and drying room;
  - Store room for up to 12 cycles – cycles to be hung vertically from walls to optimise storage space;
  - Store room for owner's cycle's, maintenance equipment etc to be relocated from existing garages;
  - Eating rooms to service 20 – 26 covers including entrance / reception area, bar / food servery, small commercial kitchen and pot-wash area;
  - Two private en-suite bedrooms

3.3 The proposed uses are appropriate and in line with the existing use and layout of the property.

#### **4.0 Scale**

4.1 The site area covers 860 sq.m.

4.2 The existing footprint of the buildings to be converted is 167 sq.m and the proposed is 174 sq.m; a marginal increase is proposed.

4.3 The existing eaves and ridge heights will be maintained.

#### **5.0 Landscaping**

5.1 The existing courtyard is paved with concrete and tarmacadam will be retained as existing and will provide access to the bunk room, stores and eating rooms. The bench seating and furniture will be retained for outside dining.

5.2 The steps leading from the courtyard to the upper garden will be sympathetically refurbished to ensure they are level and safe and a solid path / steps will be installed from the top leading to the door in the west elevation to serve the en-suite bedrooms.

5.3 The pub garden will be landscaped as part of the overall improvement proposals for the property.

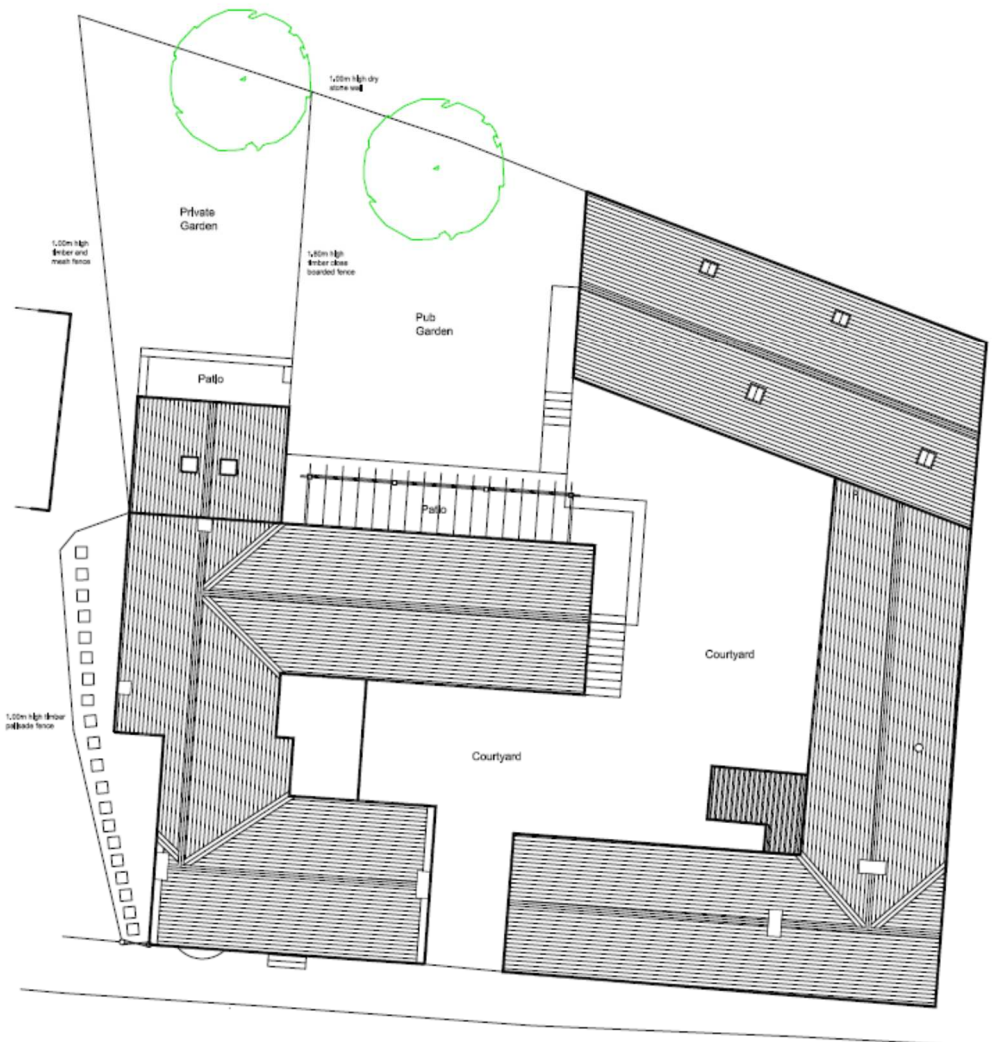
5.4 The agricultural field to the north will remain as existing.



View from boundary to West access door



View of existing steps from Courtyard



Proposed Site Plan

## **6.0 Access & Parking**

- 6.1 There are no existing car parking spaces on site, most patrons live in the village and are within walking distance. Motorcycles and cycles can be parked in the courtyard which is accessed via the main street. There is ample provision for safe on-street parking in the village within easy walking distance of the pub.
- 6.2 Walking and the use of cycles is actively promoted by the owners and the proposed bunkroom accommodation will be marketed for use by such.
- 6.3 All doors into and around new accommodation will be fully accessible and ground floor accommodation will be fully accessible to all users.
- 6.4 First-floor accommodation will not be accessible to wheelchair users but will be accessible to the ambulant disabled. The steps leading to the upper level have a tread depth of 270mm and a rise of 190mm which are suitable. Appropriate handrails will be fitted where required to assist patrons where possible.

## **7.0 Conservation of Energy / Renewable Energy Sources**

- 7.1 Solar PV panels have recently been installed on the courtyard (south) roof-slope of the pub ancillary block which includes 12 panels which will each produce 700 – 800 KWh of electricity every year. The installation currently provides electricity to the pub and will be connected to the proposed buildings to provide electricity there also.
- 7.2 New accommodation will be heated with Farho Xana Plus intelligent electric heating which is highly energy efficient. Farho's unique heating system was created and developed based on heating a conducting fluid with very high heat inertia, Farhoil a patented thermo-fluid developed for Farho. The heaters are fully programmable and controllable by smartphone.

- 7.3 The external walls will be lined with timber studwork containing 70mm of high-performance PIR insulation. The roofs will be insulated with a combination of multi-foil quilt and PIR insulation. New ground floor slabs will include 100mm of high-performance insulation. The inclusion of high-performance insulation in all elements of the external envelope will greatly reduce heat losses and conserve energy.
- 7.4 The eating rooms will predominantly be heated, when required, by the wood-burning stove. Fuel will be sustainably sourced, kiln dried and with a moisture content below 20%.

## **8.0 Impact**

- 8.1 The overall appearance of the buildings will remain relatively unchanged particularly when viewed from the street. The buildings will be significantly improved during restoration works including re-slating of roofs and traditional pointing of walls. The setting and character of the streetscape will not be affected and therefore the impact of the development is considered to be low.
- 8.2 The village location, presence within the National Park and impact on neighbours have been carefully considered in the proposals.
- 8.3 The proposal will make a positive contribution to the area and community as a whole and preserve and enhance the character of the National Park.
- 8.4 The pub and its services has become an incredibly valuable asset to the village and community in recent months and has proved a lifeline to many people.
- 8.5 The proposed improvements will have a positive impact for the local area and wider community and will assist in the sustainability of a valuable resource. It is essential that the pub provides additional services and has new revenue streams to ensure it remains viable.