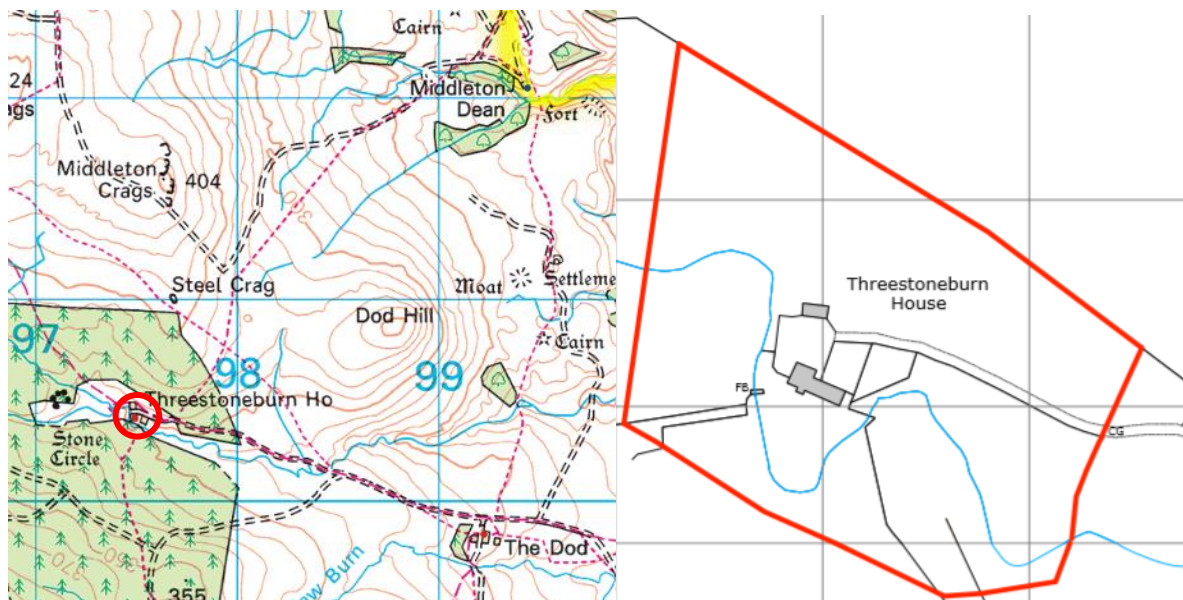




**DELEGATED DECISION REPORT**

<b>Application Reference Number</b>	21NP0028LBC
<b>Description / Site Address</b>	Listed Building Consent - Internal and external works to accommodate extension of property into attached stables and change of use of attached outbuilding to provide self-contained unit of ancillary residential accommodation. Rebuilding of existing porch. Internal remodelling including relocation of stair. Replacement of modern window and patio door with windows to match existing at Threestoneburn, Powburn, Alnwick Northumberland NE66 4JN
<b>Expiry date of publicity / consultations</b>	18 May 2021
<b>Last date for decision</b>	21 June 2021 (Extension agreed to 19 <sup>th</sup> August 2021)

This application is seeking approval for the alteration and change of use of buildings at Threestoneburn House. Threestoneburn House is located in an isolated open countryside location approximately 7km to the south of Wooler. The site is accessed via an unclassified road which runs in a westerly direction from the C54 at Calder to the property.



**Figure 1: Site Location**

Threestoneburn House is a traditional stone and slate property which is Grade II Listed with the full listing details provided below:

*House. Probably mid-late C18 with alterations. Random rubble including large irregular quoins. Welsh slate roof.*



*2 storeys, 3 bays with single-storey byre and stable attached to right.*

*Central 6-panelled door with fanlight and round-arched raised surround in gabled stone porch. C18 relief carving of shepherd, dog and sheep, above door. Window to left of door has paired 4-pane sashes in raised surround. Similar window to right of door now a french window.*

*Two 1st-floor windows with pointed-arched heads and 8-pane sashes with radiating glazing bars in the heads.*

*Rebuilt hipped roof with rebuilt brick ridge stack.*

*Single-storey addition to right has 2 boarded doors and 6-pane casement to former stable.*

*Interior has one early C19 fireplace with fluted surround, 6-panelled and boarded doors, and old beams.*

The proposed works involve the demolition and rebuilding of a new porch on the footprint of the existing to the southern elevation of the building. The stone and slate from the existing porch are to be used in the rebuild. These works are proposed to improve the insulation and structural integrity of the porch. It is also proposed to knock through from the existing dwelling into the attached stables to provide additional residential accommodation comprising a guest bedroom and study. A further outbuilding attached to the stables is also to be converted into a self-contained unit of accommodation comprising a living area / kitchen and shower to the ground floor with a deck providing a bedroom above. All of the conversions are to provide accommodation ancillary to the main residential use of the house.

To facilitate these works, internally it is proposed to relocate the staircase within the kitchen. A new opening is to be created between the existing dining room and the proposed study within the attached outbuilding. A new staircase is also to be installed within the proposed self-contained unit to provide access to a bed deck. Various other repair / maintenance / restoration works are proposed throughout the building along with the removal / addition of various partition walls to enable the creation of a viable scheme.

In addition to the rebuilding of the porch, externally it is proposed to i) replace some of the windows and doors to each elevation in existing openings; ii) install a new window to the west elevation at first floor level; iii) install / replace rooflights to the north and south elevations; iv) install a new flue to the converted outbuilding and v) fill an existing window opening with random stone to the north elevation. None of the proposals would result in a change to the floor area or form of the building.

While the proposed change of use does not require Listed Building Consent, planning permission is being sought for this element of the scheme under application reference 21NP0027.



## Planning Policy & Guidance

### National Policies

National Planning Policy Framework (NPPF) (July 2021)

National Planning Practice Guidance

### Northumberland National Park Local Plan

Policy ST1 *Sustainable Development*

Policy ST2 *General Development Principles*

Policy DM10 *Habitats, Biodiversity and Geodiversity*

Policy DM14 *Historic Landscape Assets and Built Heritage*

### Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

### Relevant Planning History

- 21NP0027** Extension of property into attached stables and change of use of attached outbuilding to provide self-contained unit of ancillary residential accommodation. Rebuilding of existing porch.. *Decision pending*
- 08NP0036LBC** Listed Building Consent in respect of proposed restorations, conversions and extension to dwelling house and outbuildings and erection of new building for garage and demolition of parts of existing extensions and dog kennels. *Listed Building Consent conditionally granted 24<sup>th</sup> October 2008;*
- 08NP0035** Proposed restorations, conversions and extension to dwelling house and outbuildings and erection of new building for garage and demolition of parts of existing extensions and dog kennels. *Planning permission conditionally granted 24<sup>th</sup> October 2008;*

### Consultation/Representations

**NCC Historic Buildings Advisor: Supports the proposals:** Subject to a comprehensive suite of conditions and rationalisation of the proposed rooflights to the bothy.

**NNPA Ecologist: No objection:** Subject to the mitigation detailed within the Ecological Impact Assessment being conditioned and additional swallow nest cups provided within the Dutch Barn.



The application has been advertised by means of site and press notices. No representations have been received in response.

### **Assessment**

The main issues to be taken into consideration in the assessment of this application are:

- The principle of the development;
- Impact on the character and setting of the Listed Building;
- Impact upon biodiversity.

### **The principle of the development**

The National Planning Policy Framework (NPPF) is clear that a presumption in favour of sustainable development is at the heart of decision-taking. Strategic Policy ST1 of the Northumberland National Park Local Plan adopts a similar presumption in favour of sustainable development, setting out the criteria and qualities for such development. Relevant to the current application, Part I) of Policy ST1 recognises sustainable development as development which '*conserves or enhances the historic environment.*' The impact of the proposed development on the historic environment is considered in detail below.

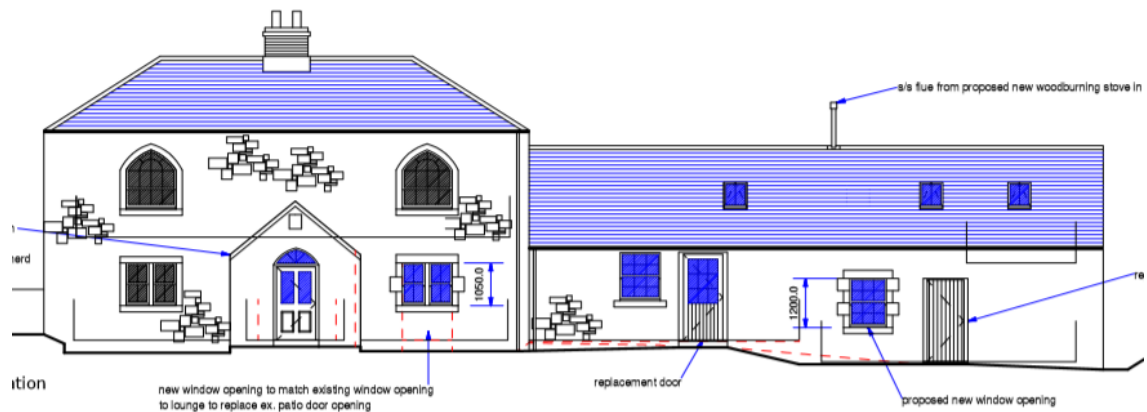
### **Impact on the character and setting of the Listed Building**

Local Plan policy DM14 states that development affecting the built heritage of the National Park should '*reinforce its distinctive historic character by fostering a positive and sympathetic relationship with traditional local architecture, materials and construction*' and '*High standards of design will be promoted to conserve and enhance the built heritage*'.

The NPPF states that '*When considering the impact of a proposed development on the significance of a heritage asset, great weight should be given to the assets conservation*' and '*Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting) should require clear and convincing justification. Substantial harm or loss of grade II listed buildings should be exceptional..*'



**Figure 2:** Existing (above) and proposed (below) south elevation



As the proposals relate to a Grade II Listed Building, the NCC Historic Buildings Advisor has been consulted on the proposals. Having considered the proposals as a whole, the Advisor has noted that the proposals are acceptable and will achieve a significant improvement in the current condition of the building and will help to enhance its significance as an important heritage asset. In addition to the above overview of the works, The Advisor has considered each of the various elements proposed in detail and has commented as follows:

- *Demolition and re-build of porch*



**Figure 3:** Southern elevation showing porch to be rebuilt.



The Advisor has raised no objection to this element of the scheme, noting that the porch is a later addition to the main house. A condition has however been requested to ensure that the mortar used for the rebuilding of the porch is an NHL 3.5 Lime Mortar.

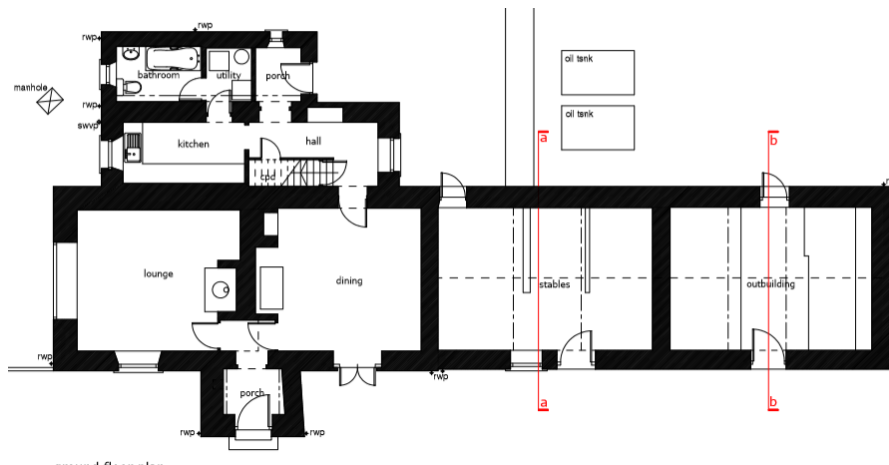
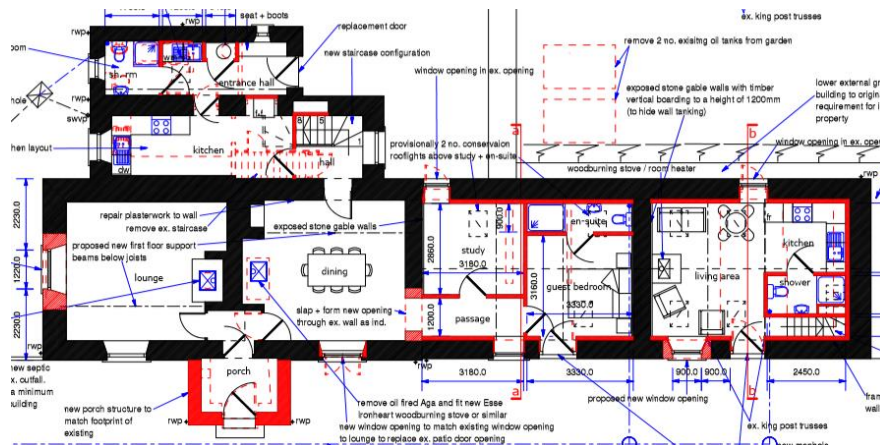


Figure 4: Existing (above) and proposed (below) ground floor plan



- *Inner Hall – repair internal plasterworks and re-hang door*

The Advisor has raised no objection subject to any new plaster being lime plaster.

- *Lounge – fitting of new first floor joists support beam; replace existing stove; remove west window frame and build up part of existing opening; fit new stone quoins, lintel and sill; fit new dressed timber sash and case window pair;*

While raising no objection, prior to its installation, the Advisor has requested that full details of the proposed support beam, the design of which should be evidenced by a structural survey, should be submitted for approval by the LPA with the use of a timber beam the preferred option.



No objections have been raised to removal of the large window to the west elevation which the Advisor considers to be unsympathetic to the character of the Listed Building. The Advisor has however requested that large scale details of the proposed replacement window, which should be a vertically proportioned timber sliding sash window with a painted finish, should be submitted and approved before installation. The Advisor has also requested that a photograph of a sample panel of the proposed infill stone (with lime mortar) and the lintels and sills should be submitted and approved before works commence.

- *Dining Room - – fitting of new first floor joists support beam; repair defective plasterwork; remove patio doors and build up to create new window opening; fit new stone sills; fit new dressed timber sash and case window pair; create new opening between dining room and former stable*

The Advisor has again raised no objection to the installation of a new support beam or plastering subject to the details being secured by means of suitable conditions. The Advisor has however requested that large scale details of the proposed new window should be submitted for the approval of the LPA before installation.

- *Hall – removal of non-load bearing partition wall; make good walls, floors and ceilings; take down existing staircase and enclosure and install new timber staircase with handrails and balustrades.*

This Advisor has noted that this part of the building lies within an outshut at the rear of the main house on the farmyard side beside the present rear entrance. The staircase is a fairly recent addition (relocated from the living room in 1925) and the proposals include the removal of that staircase and the provision of a new staircase in the reconfigured kitchen. No objection has been raised subject to the submission of large-scale details of the staircase prior to installation.

- *Kitchen - Frame up existing door opening from entrance hall with an insulated timber frame and plasterboard with skim finish; a new mechanical extractor fan outlet out through existing masonry wall fitted with a grille (black).*

The Advisor has raised no objection to this element of the scheme subject to any plaster being lime plaster and full details of the location and appearance of the grille to the extractor fan outlet being submitted for approval by the LPA prior to installation.

- *Entrance Hall, Utility and Shower Room – remove existing partition walls and create new partition wall; fit new velux conservation rooflight; replace existing rotten timber door with new external timber door.*

The Advisor has raised no objection subject to large scale details of the new door to be submitted to the LPA for approval prior to installation.



- *Hall / Study Area – fit new timber staircase including handrail and balustrades; build up existing low level window with random stonework to match existing; replacement of existing rooflight with Velux conservation rooflight; provision for two additional rooflights.*

While raising no objection, the Advisor has requested that, as previously discussed, a condition is attached requiring the submission of large-scale details of the staircase to be submitted prior to its installation. The Advisor has also advised the replacement Velux conservation rooflight should be vertically proportioned and flush fitting. It is also indicated that two additional rooflights may be installed above the hall although this does not appear to have been finalised. The Advisor has therefore requested a further condition requiring that further details of the exact number and location of rooflights should be submitted prior to their installation.

- *Bathroom – replacement velux rooflight; make good plasterwork*

Having considered the information provided the Advisor has raised no objection subject to the imposition of an appropriate condition to ensure that the replacement rooflight is vertically proportioned and flush fitting and the new plaster is lime plaster.

- *Bedroom 1 – repair internal plasterwork*

Subject to the plaster being lime plaster, the Advisor has no objection.

- *Bedroom 2 – new window opening; fit new stone quoins, lintel and sill; make good timber strapping and plasterwork; fit new dressed timber sash and case window part; new door frames and shutters.*

The Advisor has reiterated the need for large scale details of new windows and doors to be submitted for approval prior to installation and for any new plaster to be lime plaster. The Advisor has also requested that large scale details of new door frames and new shutters should also be submitted and approved before being installed. Subject to appropriate conditions, the Advisor has raised no objection to this element of the scheme.

- *Bedroom 3 – new partition walls including new door, frames etc; repair internal plasterwork.*

The Advisor has again stressed the need for large scale details of new doors and frames to be submitted for approval prior to installation and for any new plaster to be lime plaster.

- *Attic space – insulation between and over the roof joists.*

The Advisor has raised no concerns or requested any conditions in relation to these works.

- *Stables building and bothy building – carefully remove for re-use slates and ridge tiles; raking and re-pointing using lime rich mortar mix; remove existing partition wall in stable; remove existing roof sheet covering from within stables; check and retain where possible roof timbers; excavate earth against stone walls to original levels;*





The Advisor has raised no objection to the proposed works subject to details of the extent of the partition wall to be removed in the stables being submitted. The Advisor has stressed that this should be kept to a minimum and should be supported by a structural survey to ensure that the structural stability of the building would not be compromised. The Advisor has requested that a photograph of a sample area of repointing, which should be undertaken using NHL 3.5, should be submitted for approval before any extensive repointing works are undertaken.

The Advisor has noted that the intention is utilise existing window and door openings and requested that large scale details of the new windows and doors are submitted and approved before being installed. It has been advised that the windows should be recessed by approximately 100mm within their openings, should be timber with a painted finish and should not incorporate trickle vents and that the windows to the stable should be in a style to match the agricultural character of the building. The Advisor had also noted that all new windows should have a painted finish and not a stained finish as mentioned in the submitted report as a paint finish represents a much more traditional approach and is more durable.

- *Passage – remove and replace defective windows; new insulated timber partition walls, doors, frames etc.; new DPM; new insulated timber floating floor structure.*

The Advisor has raised no objection to these works subject to large scale details of new windows and doors being submitted for approval prior to installation. It has also been advised that the insulation works should be undertaken in accordance with the guidance contained within the Historic England publication '[Energy Efficiency and Historic Buildings: Insulating Solid Walls](#)'.

- *Study – new insulated timber partition walls, doors, frames etc.; new velux conservation rooflight; remove small door and fit new side hung dressed timber casement window.*

The Advisor has raised no objection to these works subject to large scale details of the new window / doors being submitted for approval and reiterating the earlier advice that the rooflight should be vertically proportioned and flush fitting.

- *Guest Bedroom - new insulated timber partition walls, doors, frames etc.; new velux conservation rooflight; remove existing timber door and frame and fit new dressed timber door.*

The Advisor has raised no objection to these works subject to large scale details of the new doors / frames being submitted for approval and again reiterating the earlier advice that the rooflight should be vertically proportioned and flush fitting.

- *En-suite - new insulated timber partition walls, door and frames etc.; new velux conservation rooflight.*



The Advisor has raised no objection to the works subject to the earlier comments relating to submission of details of new doors and frames; means of insulating the building and the fitting and orientation of rooflights.

- *Bothy building - New insulated timber partition walls, doors, frames etc; New insulation and plasterboard with plaster skim finish to ceiling; 6.new rooflights; fitting of a new mechanical extractor fan outlets with a grille; form new window opening and fit new dressed timber sash and case window; Remove existing timber door and frame from opening and fit new dressed timber door; Remove existing small door from opening to north facing wall and supply and fit new side hung dressed timber casement fit new stainless steel flue pipe; fit new dressed timber purpose made staircase including handrail.*

While not objecting, the Advisor did express some initial concerns over the number of rooflights to be installed to the bothy conversion (six in total) and suggest that this needed to be rationalised. In response, revised plans have been submitted showing the removal of two of the rooflights (one to each elevation) which is considered acceptable.

In addition to the comments relating to rooflights, the Advisor has also advised that full details of all new doors, frames and windows; the new staircase; and the precise design and location of the extractor grille and flue pipe, should be submitted for approval prior to installation on site.

- *External works*

The Advisor has welcomed the proposed removal of the existing oil tanks which are considered to be visually intrusive and has raised no concerns over any other element of the proposed external works.

In summary, subject to an appropriate suite of conditions to ensure that the works are undertaken in a manner which both protects the structural integrity of the building while preserving and enhancing the buildings character, it is considered that the proposals would accord with the requirements of Local Plan policy DM14 and the NPPF.

### **Impact Upon Biodiversity**

Local Plan policy DM10 states that the conservation and enhancement of wildlife, habitats and sites of geological interest within the National Park will be given great weight with all development aiming to '*Maintain and where appropriate enhance features of ecological value and recognised geodiversity assets*'.

As the proposals involve work to a traditional stone and slate property, the application has been supported by an '*Ecological Impact Assessment*' Report. The Report indicates that the proposals will affect known bat roosts and a mitigation strategy has been submitted. As such, the NNPA Ecologist has been consulted on the proposals. Having considered the information provided, the Ecologist noted that during the various surveys undertaken over the years, including the updated survey from 2020, bats have been identified on site with at least 4 species present. Some of the



identified roosts are within the main house where the roof is to be stripped and in the stables which are to be converted. As such, roosts will be affected. When works have an impact on bats that would otherwise be illegal, a mitigation licence is required.

When a planning application is likely to have implications for European protected species, explicit consideration must be given to the three tests enshrined in Regulation 53 of the Conservation of Habitats and Species Regulations 2017. It is proposed that the work will be covered under a Natural England Mitigation Licence. Even though Natural England oversee these licences, as the competent Authority the National Park Authority must evaluate the three tests to determine if such a licence is likely to be suitable before granting planning permission.

The 3 tests are:

- The proposal must be required for imperative reasons of overriding public interest or for public health and safety;
- There must be no satisfactory alternative to the proposal; and
- The proposal will not be detrimental to the maintenance of the favourable conservation status of the species in its natural range.

The first two tests are planning related and, as the proposals are considered to be in accordance with local plan policy, are considered to have been met. The third of these tests is examined in terms of the mitigation proposals submitted by the applicant. After looking at the documents provided the Ecologist has advised that the mitigation and compensation listed in the report includes timing restrictions to avoid stripping the roof in the hibernation or maternity periods, creation of a bat loft in the Dutch barn, wall shelters and bat box provision and the use of non-bitumen felt. The renovated buildings will have roost provision restored after the work. Natural England standing advice states that the type and function of replacement roosts should perform the same function as those which they replace. In this instance, the Ecologist is satisfied that provision suggested should be sufficient as the pipistrelle species present will use bat boxes, shelters, and crevices. A loft will be provided for other species potentially present to use during the works.

In summary, the Ecologist is satisfied that the mitigation suggested would be sufficient to obtain a licence. The numbers of bats likely to be impacted on are low, important only at the local level. Although not proved there is potential for a pipistrelle maternity roost to be present which would be of parish importance. If, however the mitigation and working methodology (given in section 7.3 of the Ecological Impact Assessment report) is conditioned, the third test will be met as the proposals are unlikely to detrimentally affect the conservation status of the species on site.

The Ecologist did however request that the proposed plans and elevations were updated to show the proposed bat mitigation measures. These have now been provided. While noting that there are already swallow nesting cups in the Dutch barn, the Ecologist has advised that the provision of additional nesting cups would help to deliver a net gain for biodiversity. The applicant has confirmed that these measures are acceptable, and the provision of additional nesting cups will be secured by means of an appropriate condition.



In light of the above assessment and subject to appropriate conditions, it is considered that the proposals would accord with the requirements of Local Plan policies ST2 and DM10 and the NPPF in relation to biodiversity.

### **Recommendation & Conditions**

It is recommended that conditional Listed Building Consent is granted subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**Reason:** To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form, received 19<sup>th</sup> April 2021;
- Location Plan received 26<sup>th</sup> April 2021;
- Site Plan proposed, received 26<sup>th</sup> April 2021;
- Plans as existing - ground floor plan, project kw-108-RBC, Drg no 001A, received 19<sup>th</sup> April 2021;
- Plans as existing - first floor plan + sections, project kw-108-RBC, Drg no 002A, received 19<sup>th</sup> April 2021;
- Elevations as existing sheet one, project kw-108-RBC, Drg no 003A, received 19<sup>th</sup> April 2021;
- Elevations as existing sheet 2, project kw-108-RBC, Drg no 004, received 19<sup>th</sup> April 2021;
- Plans as proposed – sketch proposals – ground floor plan, project kw-108-RBC, Drg no 005F, received 29<sup>th</sup> July 2021;
- Plans as proposed – sketch proposals – first floor plan + sections, project kw-108-RBC, Drg no 006E, received 1<sup>st</sup> July 2021;
- Elevations as proposed – sketch proposals – sheet one, project kw-108-RBC, Drg no 007C, received 1<sup>st</sup> July 2021;
- Elevations as proposed – sketch proposals – sheet two, project kw-108-RBC, Drg no 008D, received 1<sup>st</sup> July 2021;
- Covering letter, Reuben & Bidy Cardus, received 19<sup>th</sup> April 2021;
- Ecological Impact Assessment, Budhaig Environmental, December 2020 Update, received 19<sup>th</sup> April 2021;
- Design, Access and Justification Statement including Planning Support Statement, Threestoneburn House, May 2020, JFL/1246 received 19<sup>th</sup> April 2021;
- Threestoneburn House Walkaround, received 26<sup>th</sup> April 2021;



- Flood Risk Report received 21<sup>st</sup> April 2021;
- Appendix A – Flood Mitigation for Threestoneburn, received 19<sup>th</sup> April 2021;
- Flood Video, received 19<sup>th</sup> April 2021.
- Foul Drainage Assessment received 26<sup>th</sup> April 2021;
- Contaminated Land Screening Assessment, received 26<sup>th</sup> April 2021;

**Reason:** For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies ST1, ST2, ST4, DM2, DM6, DM10, DM11, DM12, DM14 and DM15 of the Northumberland National Park Local Plan and the National Planning Policy Framework (NPPF).

3. The mortar to be used in the rebuilding of the porch should be a Natural Hydraulic Lime (NHL) 3.5 Lime mortar only.

**Reason:** To ensure that the proposed mortar mix respects the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

4. All new plaster shall be lime plaster only.

**Reason:** To ensure that the internal plastering respects the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

5. Prior to installation, full details of the proposed support beam(s) to be fitted to the lounge and dining room should be submitted for the written approval of the Local Planning Authority. The specification for the support beam should be informed by a report prepared by a suitably qualified structural engineer. The works should be undertaken in complete accordance with the approved details.

**Reason:** To ensure that support beam is fit for purpose and maintains the integrity of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

6. Prior to installation, large scale details at a scale of 1:5 or 1:10 of all new and replacement windows should be submitted for the written approval of the Local Planning Authority. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the proposed windows respect the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

7. All new windows should be recessed by approximately 100mm within their openings, should be timber with a painted finish and should not incorporate trickle vents.

**Reason:** To ensure that all new windows are installed in a manner which protects and enhances the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

8. All new / replacement Velux Conservation rooflights should be vertically proportioned and flush fitting.



**Reason:** To ensure that the proposed rooflight are installed in a manner which respects the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

9. Prior to installation, large scale details at a scale of 1:5 or 1:10 of all new and replacement doors and frames should be submitted for written approval by the Local Planning Authority. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the proposed door details respect the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

10. Large-scale details at a scale of 1:5 or 1:10 of all new and replacement shutters should be submitted for the written approval of the Local Planning Authority prior to installation. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the shutters can be accommodated without harm to the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

11. Prior to the removal of the window in the lounge, a photograph of a sample panel of the proposed infill stone (with lime mortar) and the lintels and sills to be fitted within the opening to be built up should be submitted for written approval by the LPA. The works should be undertaken in complete accordance with the approved details.

**Reason:** To ensure that the details respect the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

12. Prior to creating the new opening between the dining room and stables, a report from a suitably qualified structural engineer shall be submitted to demonstrate that the works can be accommodated without damaging the structural integrity of the building.

**Reason:** To ensure that the proposed works would not have a detrimental impact on the integrity of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

13. Prior to installation, large scale details at a scale of 1:20 of the new staircase to both the hall and bothy building should be submitted for written approval by the Local Planning Authority. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the proposed staircase respects the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

14. Prior to installation, full details of the precise location and design of the grille(s) to the extractor fan outlet(s) serving both the kitchen and bothy should be submitted for written approval by the Local Planning Authority. The works should be undertaken in accordance with the approved details.



**Reason:** To ensure that the details of the grille(s) do not detrimentally impact the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

15. Full details of the location and number of any additional conservation rooflights to be fitted to the first-floor hall shall be submitted to the Local Planning Authority for approval prior to their installation. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the proposed rooflight(s) are located to respect the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

16. Works to the stables should not commence until full details of the extent of the removal of the partition walling has been submitted for the written approval of the Local Planning Authority. The proposed works should be supported by a structural survey to demonstrate that the structural stability of the building would not be compromised. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the proposed works would not have a detrimental impact on the character or integrity of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

17. Prior to full repointing of the stable building and bothy, a photograph of a one square metre sample area of repointing using NHL 3.5 should be submitted for approval by the LPA. All repointing works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the repointing is undertaken in a manner which respects the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

18. Insulation of walls should be undertaken in accordance with the Historic England Guidance Document 'Energy Efficiency and Historic Buildings: Insulating Solid Walls'.

**Reason:** To ensure that the works are undertaken in a manner which protects the integrity of the building in accordance with the requirements of Local Plan policy DM14 and the NPPF.

19. Prior to installation of the proposed flue pipe to the bothy, precise information including position, height, and diameter, should be submitted for approval by the Local Planning Authority. The works should be undertaken in accordance with the approved details.

**Reason:** To ensure that the flue can be accommodated without harming the character of the Listed Building, in accordance with the requirements of Local Plan policy DM14 and the NPPF.

20. The development hereby approved should be carried out in strict accordance with the proposed mitigation and enhancement measures detailed within Section 7 of the '*Ecological Impact Assessment, Threestone Burn House, Roddam, Northumberland, Budhaig Environmental, December 2020*' Report, received 19<sup>th</sup> April 2021 and annotated on drawings



kw-108-RBC-005E, kw-108-RBC-007C and kw-108-RBC-008D. In particular, attention is drawn to the need to undertake the development in accordance with the requirements of, but not limited to, the following:

- Seasonal restrictions to avoid maternity and hibernation periods;
- No breathable roofing membrane to be used;
- Tool box talk for contractors;
- Creation of a bat loft and provision of 2 wall shelters;
- Provision of 2 bat boxes in the Dutch barn;
- Roosts to be fitted with one way exclusion flaps;
- Works to known roosts to be undertaken by hand under the provision of the project ecologist;
- Provision of two bat tiles;
- Restoration of roosts to wall tops and chimney areas on 'like for like' basis;
- Loft and roof space of the farmhouse to be restored to enable bats to continue to use the space;

**Reason:** To ensure the development poses no risk of unacceptable harm to protected species and to ensure the development is in accordance with Local Plan policy DM10, the National Planning Policy Framework (NPPF) and the Conservation of Habitats and Species Regulations (as amended).

21. Prior to first occupation of the development hereby approved, a minimum of two additional swallow nest cups shall be installed in the Dutch Barn.

**Reason:** To provide a net gain for biodiversity in accordance with the requirements of Local Plan policies ST2 and DM10 and the NPPF.

### **Informative Notes**

1. This Listed Building Consent is granted in strict accordance with the approved plans. It should be noted however that:
  - a) Any variation from the approved plans following commencement of development, irrespective of the degree of variation, will constitute unauthorized development and may be liable to enforcement action.
  - b) You or your agent or any other person responsible for implementing this permission should inform the Northumberland National Park Authority's Development Management team immediately of any variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.





2. This consent is granted subject to conditions, and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice

**Background Papers**

Application File 21NP0028LBC  
EIA Screening Report

	<b>Signature</b>	<b>Date</b>
<b>Planning Officer</b>	C Godfrey	10th August 2021
<b>Head of Planning and Policy</b>	<i>Susannah Buylla</i>	<i>10/08/2021</i>