

Design and Access Statement

Project		Proposed Extension to Existing Dwelling
Address		6 Crawford Crescent Elsdon NE19 1AD

Ref		216CCE
Date		18/05/2021
Application		Householder
Applicant		[REDACTED]

Site Description

No. 6 Crawford Crescent is a two-storey three-bedroom semi-detached dwelling, sitting on a large plot to the south-east of Elsdon, some 10 miles southwest of Rothbury. The plot is bound to the north by no. 5 Crawford Crescent and to the east by no. 7 Crawford Crescent. An access road leading to no. 7 to 13 Crawford Crescent bounds the site to the south with Pinfold village green to the west.

The property is accessed via a private driveway from the public highway offering off street parking for four vehicles. The dwelling sits to the north of the site with the front door facing south.

Property Location; Easting (x) 393692 and Northing (y) 593103

Google Earth View of the application site and its context



Design and Visual Impact

The existing dwelling is of relatively modern design and built of random coursed stone up to first floor with pebble dashed render above. The roof is covered with slate with stone chimneys. Gutters and downpipes are cast iron and are in poor repair. Soffits and fascias are finished in white UPVC. The double-glazed windows and doors are finished in white uPVC with stone heads, cills and quoins. A conservatory projects eastward from the rear elevation and is finished in white UPVC with polycarbonate roof.

Landscape, Cultural Heritage & Tranquillity

As the proposals relate to an extension to an existing property, it is considered that any impact on the landscape or tranquillity of the National Park would be limited to the immediate area and would not provide grounds for refusal. Further, it is not considered that there would be any impact on the cultural heritage of the National Park.

Planning Policy | Design and Amenity

Core Strategy Policy 3 requires new development to demonstrate:

‘high quality, sustainable design and construction, which protects and enhances local character and distinctiveness through careful integration with the existing built form’. Support is given to development which is ‘sympathetic to existing buildings in terms of scale, height, massing, siting, form, materials and colour’.

The Northumberland National Park Authority ‘Design Guide Supplementary Planning Document’ states that:

‘successful extensions not only respect character, but are subservient to the existing building in terms of height, scale and massing’ and that ‘alterations should be done with care and respect the character of the existing building.’

Amount | Scale

With the above in mind, the scheme proposed to extend the property by means of a two-storey extension to the southern gable, 4.3m wide by 5.4 m deep and set back from the front (west) elevation by circa 0.9m. The new ridge will be circa 400mm below the existing ridge line to ensure the extension is subservient to the host building in terms of height, scale and massing.

Appearance

To ensure conformity with the host building, the proposed extension will echo the host buildings pallet of materials. Walls will be finished in stone to first floor level with pebble-dashed render above complete with slate roof finish and white UPVC fascias and soffits. Double glazed windows and doors are finished in white UPVC with stone heads and cills to match existing. The existing polycarbonate conservatory roof will be replaced with an insulated roof complete with tile effect finish. The proposals include PV panels to the existing east facing (rear) roof to incorporate renewable technologies into the scheme.

Layout

The proposed extension will allow for the reconfiguration of both ground and 1st floor layouts. The ground floor will be reconfigured to offer an open plan kitchen/dining/snug area. The new extension will offer a ground-floor WC and cloak room, entrance lobby and living room with direct access to the south facing garden via bi-folding doors.

The relocation of the first-floor bathroom will provide access to a new master bedroom suite complete with study and ensuite facilities.

The position and orientation of the extension will have no material effect on adjacent properties in terms of loss of daylight or sunlight. The first-floor master suite includes 3no. windows (1no. obscure to ensuite) to the south. The nearest property to the south is no.12 Crawford Crescent at a distance of some 25m. The position and orientation of first-floor bedroom windows is therefore not considered to impact on living the conditions or privacy of neighbouring residents.

Highways Safety & Vehicle Parking

The existing site includes adequate parking for 4no. vehicles with direct access off Crawford Crescent. The proposed works will not affect the existing parking arrangements.

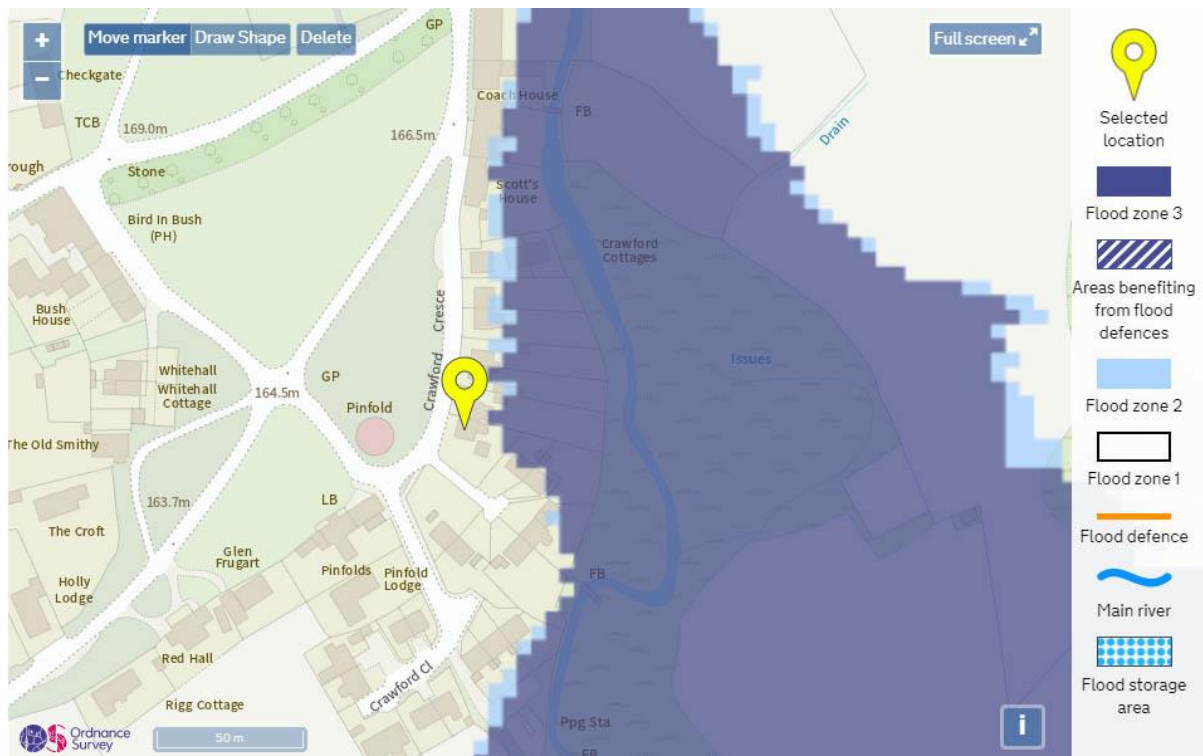
Access

Existing pedestrian access into the property located to the south gable will be relocated to the front (west) elevation and set back from the host buildings primary elevation.

Flood Risk | Foul Drainage

The proposed development site is in flood zone 1 as indicated on the Environment Agency Flood Map below which is identified as land assessed as having a low probability of flooding a less than 1 in 1,000 annual probability of river or sea flooding. The application is for the extension of an existing dwelling in FZ1, so no Flood Risk Assessment is required to support the Planning Submission.

Foul drainage and surface water would be disposed of via connection to existing drainage and main sewer connections on site.



Ecology

Further to pre-application advice, the proposals are not considered to impact on the landscape, tranquillity or cultural heritage of the National Park. Following further consultation with the National Park Ecologist (07.05.21), it is deemed a bat survey would not be necessary.