



DELEGATED DECISION REPORT

Application Reference Number	21NP0036
Description / Site Address	Two storey side extension to existing dwelling at 6 Crawford Crescent, Elsdon, Northumberland, NE19 1AD
Expiry date of publicity / consultations	18 June 2021
Last date for decision	15 July 2021

Details of Proposal

This application is seeking approval for a two-storey side extension at 6 Crawford Crescent. 6 Crawford Crescent is a semi-detached two storey property located directly to the eastern side of the named settlement of Elsdon, directly adjacent to Pinfold Green. The property is of relatively modern design, being constructed from stone facing to the ground floor with dash to the first floor and a slate roof.

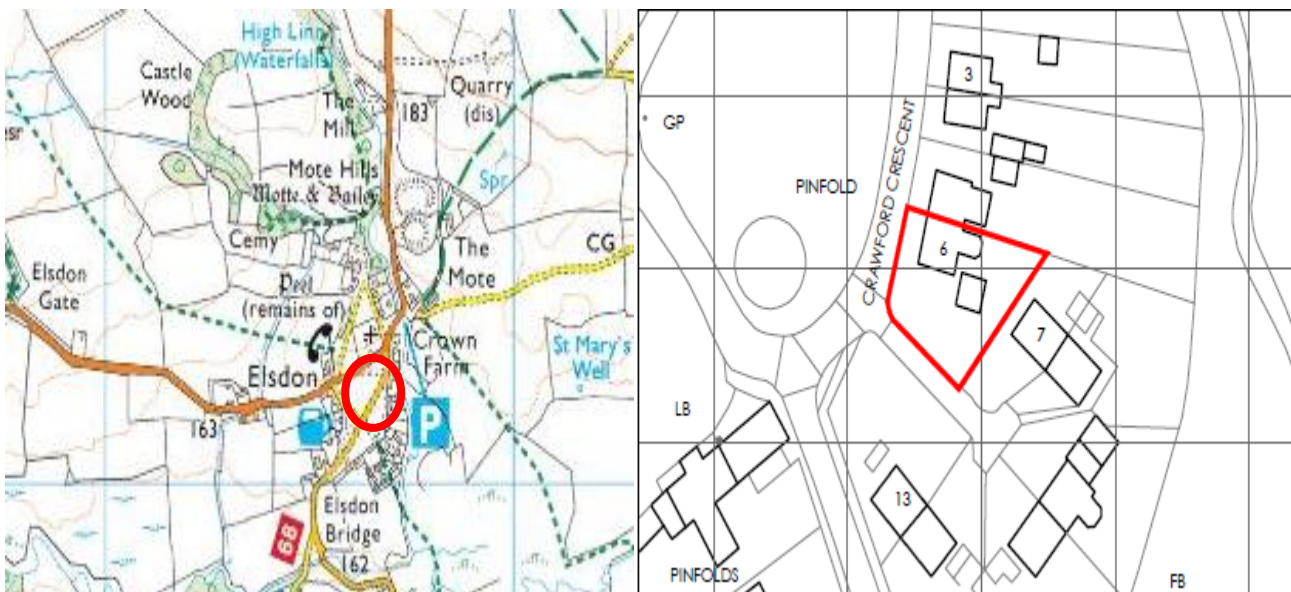


Figure 1: Site Location

The application involves the construction of a two-storey side extension located on the southern gable end of the property. The extension would be 4.3m in width, 5.4m in depth and 7m in height. The extension would be constructed in stone to first floor level and then pebbledash over the second storey with a slate roof.

The extension is required to allow for the reconfiguration of both ground and first floor layouts and will include a WC and open plan layouts.



Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

Northumberland National Park Local Plan

Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy DM2	<i>Householder Development</i>
Policy DM9	<i>Transport and Accessibility</i>
Policy DM10	<i>Habitats, Biodiversity and Geodiversity</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Night Skies</i>
Policy DM14	<i>Historic Landscape Assets and Built Heritage</i>

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

03NP0072 Construction of Conservatory *Planning Permission Granted Conditionally 4 December 2003*

Consultation/Representations

Elsdon Parish Council: No Objections

NCC Highways: No Objections: The imposition of informatives with regards to the impacts during the construction phase will address any concerns with the proposed development during this period.

NNPA Ecologist: No Objection: In a pre-app enquiry NNPA's Ecologist confirmed that a bat survey was not necessary as the extension is below the roof line and would not be broken through the existing wall. The proposal is also not adjacent to a working chimney or a flue. NNPA's ecologist has requested that some permanent bird or bat provision can be incorporated into the proposed extension as biodiversity net gain. The applicant has subsequently included a bird box on the southern elevation of the proposed extension.

NNPA Historic Environment Officer: No Objection: The site lies outside of the core archaeological sensitivity area, the affected property is situated in an area of 1930s semi-detached



housing and adjacent to post-war housing. There is hard standing on the area of the proposed extension and the potential for archaeology surviving undisturbed is negligible.

Public Response: A site notice was erected on 27 May 2021. One letter of representation was received. The occupier of 7 Crawford Crescent raised no objections to the proposals.

Assessment

The key material planning considerations are:

- The principle of the development;
- Design and amenity;
- Impact Upon National Park special qualities

The principle of the development

Sustainable Development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy ST1 of the Local Plan places adopts a similar assumption in favour of sustainable development and defines the qualities and criteria which are deemed to represent 'sustainable development'. Paragraphs a) & c) of Policy ST1 are of specific relevance as they relate to making '*the National Park a high-quality place to live and work*' and '*contribute positively to the built environment by having regard to the site context*'. The degree to which the proposals accord with these qualities is discussed throughout the report.

Location of Development

The application site is located within Elsdon which is identified within strategic policy ST4 as one of the named settlements which will be the focus for new development within the National Park. Policy DM2 permits householder development, setting out criteria for appropriately designed extensions. Subject to detailed consideration of these issues (see below), the principle of a domestic extension is considered to accord with spatial strategy advocated by the relevant Local Plan policy.

Design and Amenity

Design

Local Plan policy ST2 places an emphasis on ensuring new development is '*of a high-quality design that makes a positive contribution to the National Park's Special Qualities*'. Local Plan policy DM2, which relates to householder development, states that development will be permitted where '*The scale, height, form position and design of the new development do not detract from the character and form of the original dwelling or its setting in the landscape*' and '*any extensions should be subservient to the main building*'.



The Northumberland National Park Design Guide Supplementary Planning Document states that “*successful extensions not only respect character but are subservient to the existing building in terms of height, scale and massing*” and that ‘*alterations should be done with care and respect to the character of the existing building*’.

The extension would be constructed in materials to match that of the existing dwellinghouse. The ground floor would be constructed in natural stone with the first floor finished in pebbledash. The roof would be constructed in natural slate. This ensures that the extension reflects the existing character of the host dwellinghouse and harmonises with its surrounds.

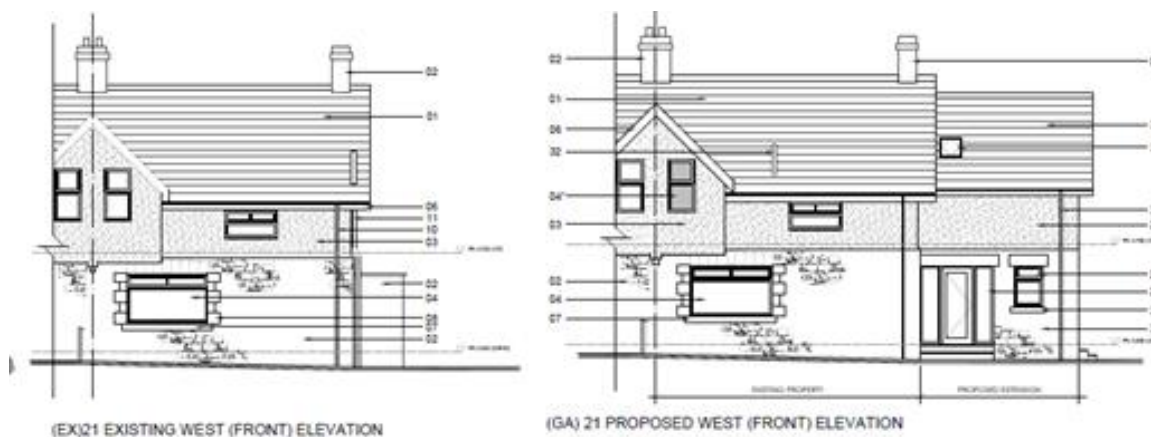


Figure 2: Existing (left) and proposed (right) front elevation

The ridge height of the extension would be set 0.4m below the existing ridge line. The principal elevation of the extension would be setback 0.9m from the principal elevation of the host dwellinghouse. This would ensure that the extension appears as an obvious addition that is subservient to the main dwellinghouse.

As the host dwellinghouse forms one half of a semi-detached pair it is of increased importance that the extension appears as an obvious addition to the dwellinghouse. Due to the setback from both the ridge height and principal elevation, this can be read as an obvious addition when considered from the street scene of Crawford Crescent. The proposal therefore would not upset the symmetrical balance that is already established between the semi-detached pair.

Three uPVC windows are proposed across the first-floor level of the gable end of the extension. A front facing door is proposed across the principal elevation which benefits from stone heads and a stone cill. Both the material and design of the windows and doors would match that of the existing dwellinghouse which ensures the proposal would reflect the existing design of the host property.

As described in detail above, the proposal raises no material impact in terms of design and, as a result, satisfies the aims and objectives of Policies ST2 and DM2 of the Local Plan and the NPPF in terms of design.



Figure 3: Application site highlighting existing materials.

Amenity

Amongst others, Policy ST2 states that development will be permitted where '*The proposal will not have an unacceptable adverse impact upon the amenities of occupiers*' with Policy DM2 seeking to ensure that new householder development '*does not unacceptably affect the residential amenity of neighbouring occupiers or result in adequate levels of amenity for the existing dwelling*'.

6 Crawford Crescent is the most southern of the semi-detached pair it forms part of and the gable end where the extension is proposed faces out onto the adjacent cul-de-sac. As a result of this, neighbouring amenity impacts must be considered for the two adjacent properties nos. 5 & 7 Crawford Crescent respectively alongside both nos. 11 & 12 Crawford Crescent located on the opposite side of the cul-de-sac.

The extension would be located approximately 15m from No. 7 Crawford Crescent to the east. The proposed extension would not project beyond the rear elevation of the host property. As a result of this, it is not considered that the extension would lead to any concerns regarding the overbearing nature of the proposal to No. 7 Crawford Crescent. In addition, the extension would face the blank gable of no.7 which confirms that the proposal would not lead to any material impacts regarding overlooking or loss of privacy.



Turning to the impacts towards nos. 11 & 12 Crawford Crescent, both properties are located approximately 25m from the proposed extension. Given this substantial distance, it is not considered that the extension would lead to any loss of daylight or sunlight to any habitable rooms of either nos. 11 or 12 Crawford Crescent.



Figure 4: View towards 11 & 12 Crawford Crescent from application site

Three windows are proposed across the gable end of the extension at first floor level. These windows have the potential to overlook into the habitable rooms of No's. 11 & 12 Crawford Crescent (Figure 4). One window (which serves the en-suite) benefits from frosted glass. There is currently a separation distance of 29m at the closest point between the application site and the nearest opening of no. 12 Crawford Crescent. The separation distance, combined with the positioning of both Nos 11 & 12 (facing north-east) would ensure that any views available from either of the 2 most eastern windows would not be sufficient enough to warrant a reason for refusal.

In light of the above assessment, it is considered that the proposals accord with the requirements of Local Plan policy ST2 and the NPPF in relation to residential amenity.

Impact upon National Park Special Qualities

Biodiversity



Policy DM10 of the Local Plan offers support for proposals which maintain and enhance the biodiversity of the National Park.

The application has not been supported by a Bat Survey Report. Having considered the extent of the proposed works, the NNPA Ecologist has however advised that the submission of a bat survey is not required in this instance. The proposed extension would be located below the existing roof line of the host dwellinghouse. The proposed extension would not be located adjacent to a working flue or chimney. As a result of these factors, it is not considered that the proposal would lead to any material impact to roosting bats.

Paragraph 2 b) of Policy DM10 of the Local Plan states that development proposals should *'maximise opportunities to strengthen the integrity and resilience of habitats and species within the National Park and provide a net gain in biodiversity'*. NNPA's Ecologist has suggested that the development proposal should seek to provide biodiversity net gain as part of the works. The applicant has agreed to install a bird box on the southern elevation of the proposed extension.

On the basis of the above, and subject to an appropriate condition, it is considered that the proposals are likely to result in a biodiversity net gain and the proposal would accord with the requirements of Local Plan policies ST2 and DM10 and the NPPF.

Landscape

Policy DM11 states that the natural beauty and heritage of the National Park will be conserved and enhanced whilst being responsive to landscape change. To achieve this, new development will need to ensure that *'the visual impact of the development in its immediate and wider setting is minimised through high quality design that reflects local landscape character with particular regard to scale, siting, materials and colour'* and *'the cumulative and/or sequential landscape and visual effect of development do not detract from the natural beauty of the National Park...'*

The proposals involve a two-storey side extension to an existing property. The surrounding landscape of Elsdon is residential in nature, and the provision of a domestic alteration is unlikely to cause a material impact to the landscape value of the area. Given the small-scale nature of the proposals, it is considered that any impact on landscape or visual amenity would be restricted to the immediate area and limited to those discussed in relation to design (above). It is therefore considered that any impact on wider landscape or visual amenity would not be of a magnitude which would warrant refusal of the application and the proposals are not considered to conflict with the requirements of Local Plan policy DM11 or the NPPF in relation to landscape.

Tranquility

Local Plan policy DM11 requires amongst others that *'The level of noise, traffic and light generated as a result of the development during construction and thereafter is minimised and dark night skies maintained'* and *'All development proposals should avoid external lighting where possible. Where external lighting is necessary its design should avoid all unacceptable adverse impacts, or as a last resort mitigate them to...avoid adverse impacts on tranquillity, dark skies'*.



The site is in a sensitive location within the Northumberland International Dark Sky Park. No specific detail of any external lighting which may be required in connection with the proposed extensions has been submitted as part of the application. A condition restricting the installation of external lighting is not however considered appropriate as the proposals relate to the extension of an existing property within a settlement rather than a new building. It is however considered appropriate to attach an informative advising the applicant that the site is located in a sensitive location and providing details of lighting suitable for use within the International Dark Sky Park.

As the proposals only relate to minor works to an existing dwelling it is considered that the proposals are unlikely to generate significant levels of additional vehicle movements / traffic or noise. As such, subject to the imposition of an appropriate informative relating to external lighting it is considered that the proposals would be in accord with the requirements of Local Plan policy DM11 and the NPPF in relation to tranquility.

Cultural Heritage

Local Plan policy DM14 states that '*Development affecting historic landscape assets of the National Park will be required to conserve and enhance landscape quality by taking into consideration the elements which contribute to its significance.*'

The application site is located within the Historic Village Atlas of Elsdon. There is a Grade II Listed building, The Pinfold, located 25m to the west of the application site. While it is considered that the proposal is within close proximity to The Pinfold, the relatively modest nature of the development would ensure that the proposal would not affect the setting of the Listed Building in a detrimental manner. An alteration to an existing domestic property would reflect the residential character of the area and would not detract attention from the designated heritage asset.

The application site falls within the Historic Village Atlas of Elsdon. As a result of this, the Authority's Historic Environment Officer has been consulted on the proposals. The Officer has raised no objections to the proposals. The application site lies outside of the archaeological sensitivity area. The property itself is situated in an area of 1930's semi detached housing and is directly adjacent to post-war housing. There is an area of hardstanding already located on the area where the two-storey extension would be located and the potential archaeology surviving undisturbed is negligible.



Figure 4: Views to Pinfold from application site

The proposal would not have a material impact on the setting of the Grade II Listed building or the Historic Village Atlas of Elsdon and as a result would satisfy the requirements of Policy DM14 of the Local Plan.

Highways

Amongst other, Policy ST2 is supportive of proposals which '*ensures the proportionate creation of an accessible, safe and secure environment for all potential users with appropriate cycling facilities and car parking provision and without compromising highway safety, the local road network or public rights of way*'.

In this instance, as the proposals will not result in the creation of any additional bedrooms, it is not anticipated that there will be any additional requirement for parking spaces associated with the development. The submitted Design & Access Statement states that the existing site includes adequate parking for 4no. vehicles with direct access from Crawford Crescent. It is not anticipated that the proposals would affect the parking arrangements at 6 Crawford Crescent.

Northumberland County Council Highways have been consulted on the proposals. Highways Officers raised no objection to the proposals subject to the provision of two informatives attached to the final decision notice. The first informative is a reminder not to store building materials on the highway. The second informative is a reminder not to leave debris or rubbish that would result from the development on the highway.



Subject to the addition of the two previously mentioned informatives, the proposal complies with Policy ST2 of the Local Plan in terms of highways.

Recommendation & Conditions

Grant conditional permission subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form received 19 May 2021
- Location Plan received 19 May 2021
- Existing Site Plan received 19 May 2021
- Proposed Site Plan received 19 May 2021
- Existing Site Plans and Elevations received 19 May 2021
- Design and Access Statement received 19 May 2021
- Proposed Site Plan and Elevations received 21 June 2021

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies ST1, ST2, ST4, DM2, DM10 and DM11 of the Northumberland National Park Local Plan and the National Planning Policy Framework (NPPF).

3. Prior to the occupation of the extension hereby approved by this permission, the bird box shall be constructed to full completion in accordance with the details outlined in this scheme.

Reason: It is important to ensure these net gain measures are carried out in line with the information provided in accordance with Northumberland National Park Local Plan policies ST1, ST2, DM2 and DM10 and the NPPF.

Informative Notes

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:
 - (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.



- (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.
- Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.
3. The application site is located within the Northumberland International Dark Sky Park. The [‘Good Practice Guide for Outside Lighting in Northumberland International Dark Sky Park’](#) and an additional guide to unacceptable / acceptable lighting is attached. It is recommended that any external lighting required in connection with the domestic extension is undertaken in accordance with the Guidance.
4. Building materials or equipment shall not be stored on the highway unless otherwise agreed. You are advised to contact the Streetworks team on 0345 600 6400 for Skips and Containers licences.
5. In accordance with the Highways Act 1980 mud, debris or rubbish shall not be deposited on the highway.

Background Papers

Application File 21NP0036
EIA Screening Report

	Signature	Date
Planning Officer	Adam Ewart	21.06.2021
Head of Planning & Policy	<i>Susannah Buylla</i>	24 th June 2021