



DELEGATED DECISION REPORT

Application Reference Number	21NP0037
Description / Site Address	Erection of ground floor garden room to rear elevation and construction of dormer roof extension to rear elevation at 2 Old Yeaving Cottages, Kirknewton, Wooler, Northumberland, NE71 6HF
Expiry date of publicity / consultations	18 June 2021
Last date for decision	15 July 2021

Details of Proposal

This application is seeking approval for a single storey rear extension for the purpose of a garden room and a rear facing dormer roof extension at 2 Old Yeaving Cottages. 2 Old Yeaving Cottages forms part of a semi-detached pair located directly south of the unclassified road leading from the A697 which serves the settlements of Kirknewton and Yeaving. The unclassified road also marks the National Park boundary directly to the north. The building to which this proposal relates is constructed in traditional stone and slate fabrics.



Figure 1: Site Location

The application involves the construction of a single storey rear extension to be used for the purpose of a garden room. The extension would project 5.3m in depth, 3.5m in height and 6.8m in width. The garden room would be constructed in a flat poly roof with a slate parapet.



A rear dormer roof extension is also proposed as part of a development. This would be pitched in nature and constructed in stone and slate.

Planning Policy & Guidance

National Policies

National Planning Policy Framework (NPPF) (2019)

National Planning Practice Guidance

Northumberland National Park Local Plan

Policy ST1	<i>Sustainable Development</i>
Policy ST2	<i>General Development Principles</i>
Policy ST4	<i>Spatial Strategy</i>
Policy DM2	<i>Householder Development</i>
Policy DM10	<i>Habitats, Biodiversity and Geodiversity</i>
Policy DM11	<i>Landscape, Tranquillity and Dark Night Skies</i>
Policy DM14	<i>Historic Landscape Assets and Built Heritage</i>

Supplementary Planning Guidance

NNPA Building Design Guide Supplementary Planning Document (Design Guide SPD)

NNPA Landscape Supplementary Planning Document (Landscape SPD)

Relevant Planning History

09NP0068	Proposed replacement of 2 No. porches <i>Planning Permission Granted Conditionally 8 February 2010</i>
05NP0059	Proposed two storey extension to the rear <i>Planning Permission Granted Conditionally 2 December 2005</i>
99NP0006	Change of use from agricultural to domestic garden <i>Planning Permission Granted Conditionally 14 April 1999</i>

Consultation/Representations

Kirknewton Parish Council: No Objections



NNPA Ecologist: No Objection: The bat survey submitted shows two roosts for Common Pipistrelle. One of which is in close proximity to the chimney which is not likely to be affected by the proposals. The other roost is located at the bottom of the lead flashing above where the extension would be. The proposed works may cause vibration and disturbance to this roost and therefore a bat licence is required.

It is proposed that the work will be covered under a Bat Class Licence (low impact). In Northumberland low impact class licenses can be used for up to three roosts for common pipistrelle, soprano pipistrelle and brown long-eared bats. These proposals will affect one common pipistrelle roost (with another present) therefore it would seem the class licence is appropriate.

The mitigation report includes the erection of a bat box to be located on an adjacent building. This is considered suitable subject to a condition being attached to any potential decision notice ensuring the bat box is installed prior to the development. The timing of the development should also avoid the hibernation period when bats are more likely to be torpor and susceptible to harm.

The report suggests the addition of bird provision on the outbuilding which I would recommend being a condition for Biodiversity Net Gain.

Public Notice

A site notice was erected on 27 May 2021. No Representations were received by the public.

Assessment

The key material planning considerations are:

- The principle of the development;
- Design and amenity;
- Impact Upon National Park special qualities

The principle of the development

Sustainable Development

The National Planning Policy Framework (NPPF) places emphasis on a presumption in favour of sustainable development to guide decision making. Policy ST1 of the Local Plan adopts a similar assumption in favour of sustainable development and defines the qualities and criteria which are deemed to represent 'sustainable development'. Paragraphs a), c) & e) of Policy ST1 are of specific relevance as they relate to making '*the National Park a high-quality place to live and work*', '*contribute positively to the built environment by having regard to the site context*' and '*improves biodiversity by protecting existing priority habitats and species or create new priority habitats*'. The degree to which the proposals accord with these qualities is discussed throughout the report.



Location of Development

Policy ST4 of the Local Plan sets out the spatial strategy for development within the National Park. The application site, Old Yeavinger, is not located within any of the named settlements set out in policy ST4. It is therefore considered that the site is located within the Open Countryside. In the open countryside, amongst others, policy ST4 states that development will be permitted where it *'is supported by other relevant Local Plan policies'*. In this instance Policy DM2 which refers to householder development would be relevant. This policy recognises that householder development is acceptable throughout the National Park, subject to the proposal taking full account of the *'character of the local area and the special qualities of the National Park'*. Subject to consideration of the impact on local character and special qualities of the National Park as assessed below, the proposed householder alterations are considered to be acceptable in principle.

Design and Amenity

Design

Local Plan policy ST2 places an emphasis on ensuring new development is *'of a high-quality design that will make a positive contribution to the special qualities of the National Park'*. Local Plan policy DM2, which relates to householder development, states that development will be permitted where *'The scale, height, form position and design of the new development does not detract from the character and form of the original dwelling or its setting in the landscape'* and *'any extensions should be subservient to the main building'*.

The Northumberland National Park Design Guide Supplementary Planning document states that *"successful extensions not only respect character but are subservient to the existing building in terms of height, scale and massing"* and that *'alterations should be done with care and respect to the character of the existing building'*.

Dormer roof extension

A dormer roof extension is proposed across the rear elevation of No. 2 Old Yeavinger Cottage. This would be pitched in nature and constructed in natural slate and stone.



Figure 2: Site Location

The overall shape, size and scale of the dormer is considered modest in scale. Sufficient space is available at both sides of the dormer and between the ridge of the dormer and the original dwellinghouse. This would ensure the original roof can still be read and the proposal does not take the form of an additional floor.

An existing pitched roof dormer is located on the north facing side of the two-storey extension (Figure 2) approved under app no. 05NP0059. This is of the exact same dimensions as the current proposal with a matching window located on the dormer. This confirms that the dormer would reflect the existing architectural features of the host dwellinghouse and would harmonise with the existing built form.

The dormer would be constructed in natural slate and stone. These materials would match the existing materials of the host dwellinghouse. This confirms that the proposal would not appear as an alien feature on the dwellinghouse and would instead reflect its surrounds.

Single storey rear extension

The proposed single storey rear extension would infill an existing area of land to the side of an existing outrigger extension to the rear of the property. The extension would project 5.3m in depth, 3.5m in height and 6.8m in width. The garden roof would be constructed in a flat poly roof with a slate parapet. Two rooflights would be located on the proposal. Grey aluminium bi-fold doors would be located to the northern and western elevation. An existing lean-to extension would be removed as a result of the proposals.



The overall shape, scale and scale of the garden room is considered appropriate in terms of design. The height of the Garden Room reflects the existing floor heights of the host dwellinghouse to ensure it would not dominate over the original building.

The Garden Room does not project westwards beyond the rear of the existing two storey extension or beyond the northern elevation of the host dwellinghouse. This ensures that the extension remains subservient to the original building and can be read as an obvious addition.

The proposed materials are considered appropriate in terms of design. The welsh slate would match that of the existing dwelling. This ensures that the proposal would harmonise with the host dwelling. Grey bi-fold doors are a common element of garden rooms and would not appear as an alien feature to the rear elevation.

As described in detail above both the dormer roof extension and single storey rear extension are considered appropriate in terms of design and would comply with the requirements of both policies ST2 and DM2 of the Northumberland National Park Local Plan.

Amenity

Amongst others, Policy ST2 states that development will be permitted where '*The proposal will not have an unacceptable adverse impact upon the amenities of occupiers*' with Policy DM2 seeking to ensure that new householder development '*does not unacceptably affect the residential amenity of neighbouring occupiers or result in adequate levels of amenity for the existing dwelling*'.

Due to the isolated nature of the application site, the only property which has the potential to be materially affected in terms of amenity is the adjoining property of the semi-detached pair No. 1 Old Yeavinger Cottage.

The proposed Garden Room would not project beyond the existing rear outrigger extension that was constructed under app no. 05NP0059. The property boundary is located directly in between the two-storey extension. As the Garden Room would not project beyond this, it is not considered that the proposal would lead to any material amenity impact in terms of overlooking, loss of sunlight/daylight or loss of privacy.

Turning to the dormer roof extension, one window is proposed on the rear elevation of the proposed dormer. This window faces in a western direction. Any views to the neighbouring amenity space would be limited, as the previously approved two storey extension acts as a visual buffer between the dormer and the rear amenity space.

In light of the above assessment, it is considered that the proposals accord with the requirements of Local Plan policy ST2, DM2 and the NPPF in relation to residential amenity.

Impact upon National Park Special Qualities



Biodiversity

Policy DM10 of the Local Plan offers support for proposals which maintain and enhance the biodiversity of the National Park. As the proposals involve the construction of a dormer roof extension to an existing slate roof property, NNPA's Ecologist has been consulted on the proposals.

The application has been supported by a Bat Survey Report completed by BSG Ecology. While two bat roosts were identified as part of the field survey, both roosts were considered to be day roosts and they would not be impacted by the works proposed.

The report concluded that in terms of habitats, no mitigation measures are proposed. Any damage or disturbance of this habitat that may occur during the construction phase of the development will be restored following completion of the works.

A roost supporting one bat was identified below the valley gutter between the original cottage and the extension. Although access to the roost will be available throughout the construction period, the noise and vibrations caused by the development have the potential to disturb the roost. As a result of this, a development licence will need to be secured by Natural England.

NNPA's Ecologist confirmed that although the roost at the bottom of the flashing will not be directly affected, as the extension will be approximately 0.5m below, it is possible that the proposed works have the potential to cause vibration and disturbance. Therefore, a bat class licence is proposed.

When a planning application is likely to have implications for European Protected Species, explicit consideration must be given to the three tests enshrined in Regulation 53 of the Conservation of Habitats and Species Regulations 2017. It is proposed that the work will be covered under a Bat Class Licence (low impact).

Although Natural England oversees these licences, as the competent authority, the National Park Authority must evaluate the three tests to determine whether a licence is likely to be suitable before granting planning permission.

The three tests are:

- The proposal must be required for imperative reasons of overriding public interest or for public health and safety.
- There must be no satisfactory alternative to the proposal.
- The proposal will not be detrimental to the maintenance of the favourable conservation status of the species in its natural range.

As described in detail throughout this report, the proposal complies with relevant Local Plan policies and therefore meets the first two tests. As for the third test, this is examined through the mitigation measures presented in the ecological survey.



In Northumberland, low class licences can be used for up to three roosts for Common Pipistrelle, Soprano Pipistrelle and Brown Long Eared Bats. The proposals would only affect one Common Pipistrelle roost (another is present on site) and therefore it would seem the class licence is appropriate.

The mitigation measures outlined in the ecological report include the erection of a bat box. This would be located on the detached garage to the north of the property. Natural England standing advice states that the type and function of replacement roosts should perform the same function as those they replace. In this instance, NNPA's Ecologist has confirmed that the provision suggested should be sufficient as the current roost will remain in situ and the entrance to the roost would not be affected. The additional bat box would provide additional roosting if the bat is disturbed.

Common Pipistrelle bats will use bat boxes, and these are suitable for smaller roosts. It is noted that only one bat was recorded using the bat box. NNPA's Ecologist has confirmed that a condition should be attached to any decision notice which would ensure the bat box is installed before work commences. An additional condition should be attached to any decision notice restricting the proposed works to be undertaken outside of the hibernation period (November- March) in order to protect bats which are torpor and more susceptible to harm.

To summarise, NNPA's ecologist has confirmed that the current mitigation that has been suggested as part of the Bat Survey Report is considered sufficient subject to both conditions proposed. The number of bats likely to be affected is considered low, important only at the local level. The third test is therefore likely to be met as the proposals are unlikely to detrimentally affect the conservation status of the bat species present on site.

In addition, the Bat Survey Report has suggested the provision of a bird nest box to be located on the detached garage to the north. NNPA's Ecologist supports this provision as biodiversity net gain and recommends that this should be secured by an appropriately worded condition.

On the basis of the above, and subject to appropriately worded conditions, it is considered that the proposals are unlikely to have a material impact on biodiversity and are not considered to conflict with the requirements of Local Plan policy DM10 and the NPPF. The proposal would also provide biodiversity net gain in accordance with Local Plan policies ST2 and DM10.

Landscape

Policy DM11 requires new development to ensure that *'the visual impact of the development in its immediate and wider setting is minimised through high quality design that reflects local landscape character with particular regard to scale, siting, materials and colour'* and *'the cumulative and/or sequential landscape and visual effect of development do not detract from the natural beauty of the National Park'*.

In terms of new development, the proposal involves the creation of a modest dormer and garden room. Given the small-scale nature of the proposals, it is considered that any landscape or visual amenity is related to the immediate surrounding area and limited to that discussed in the design



considerations above. It is therefore considered that the proposal would not conflict with the requirements of policy DM11.

Tranquility

Local Plan policy DM11 requires amongst others that *'The level of noise, traffic and light generated as a result of the development during construction and thereafter is minimised and dark night skies maintained'* and *'All development proposals should avoid external lighting where possible. Where external lighting is necessary its design should avoid all unacceptable adverse impacts, or as a last resort mitigate them to...avoid adverse impacts on tranquillity, dark skies'*.

The site is in a sensitive location within the Northumberland International Dark Sky Park. No specific detail of any external lighting which may be required in connection with the proposed extensions has been submitted as part of the application. A condition restricting the installation of external lighting is not however considered appropriate as the proposals relate to the extension of an existing property rather than a new building. It is however considered appropriate to attach an informative advising the applicant that the site is located in a sensitive location and providing details of lighting suitable for use within the International Dark Sky Park.

As the proposals only relate to minor works to an existing dwelling it is considered that the proposals are unlikely to generate significant levels of additional vehicle movements / traffic or noise. As such, subject to the imposition of an appropriate informative relating to external lighting it is considered that the proposals would be in accord with the requirements of Local Plan policy DM11 and the NPPF in relation to tranquility.

Cultural Heritage

Local Plan Policy DM14 states that *'Development affecting historic landscape assets of the National Park will be required to conserve and enhance landscape quality and character by taking into consideration the elements which contribute to its significance'*.

The host dwelling is not listed and does not fall within the Kirknewton Conservation Area. The Scheduled Ancient Monument of Ad Gefrin and Yeavering Bell Hillfort are located in the surrounding area of the site. However, when considering the scale of the development proposed, alongside the distance to the monuments, there would be no material impact upon the siting of the designated heritage assets.

As a result of this, it is considered that the proposals would comply with Policy DM14 of the Local Plan.

Recommendation & Conditions

Grant conditional permission subject to the following conditions:

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.



Reason: To ensure that the development is commenced within a reasonable period of time from the date of this permission, as required by Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

- Application form received 21st May 2021
- Location Plan received 21st May 2021
- Existing Floor Plans Dwg No. 20/630 05 received 21st May 2021
- Existing Site Plan Dwg No. 20/630 2 received 21st May 2021
- Photographs received 21st May 2021
- Proposed Elevations Dwg No. 20/630 3 received 21st May 2021
- Proposed Site and Roof Plan Dwg No. 20/630/4 received 21st May 2021
- Existing Elevations Dwg No. 20/630 05 received 21st May 2021
- Ecological Assessment prepared by BSG Ecology received 4th June 2021

Reason: For the avoidance of doubt, to enable the local planning authority to adequately manage the development and to ensure the proposal accords with policies ST1, ST2, ST4, DM2, DM10, DM11 and DM14 of the Northumberland National Park Local Plan and the National Planning Policy Framework (NPPF).

3. The proposed development on the site must not be carried out during the bat hibernation period (November to March)

Reason: The timing of the development is imperative to ensure that there is no undue risk of harm to roosting bats, in accordance with Northumberland National Park Local Plan policies ST1, ST2, DM2 and DM10, Chapter 15 the NPPF and the Conservation of Habitats and Species Regulations 2010.

4. Prior to the commencement of the development hereby approved by this permission, both the bat box and bird box shall be constructed to full completion in accordance with this scheme.

Reason: It is essential to provide these mitigation measures to prevent undue harm to protected species in accordance with the development in accordance with Northumberland National Park Local Plan policies ST1, ST2, DM2 and DM10, Chapter 15 of the NPPF and the Conservation of Habitats and Species Regulations 2010.

Informative Notes

1. This planning permission is granted in strict accordance with the approved plans. It should be noted however that:



- (a) Any variation from the approved plans following commencement of the development, irrespective of the degree of variation, may constitute unauthorised development and may be liable to enforcement action.
- (b) You, your agent, or any other person responsible for implementing this permission should inform the Local Planning Authority immediately of any proposed variation from the approved plans and ask to be advised as to the best method to resolve the matter. Most proposals for variation to the approved plans will require the submission of a new application.
2. This consent is granted subject to conditions and it is the owner and the person responsible for the implementation of the development who will be fully responsible for their compliance throughout the development and beyond. Some conditions may require work to be carried out, or details to be approved prior to the commencement of the development.

Where pre-commencement conditions are not complied with, the whole of the development could be unauthorised, and you may be liable to enforcement action. In some circumstances, the only way to rectify the situation may be through the submission of a new application. If any other type of condition is breached then you may be liable to a breach of condition notice.

3. The application site is located within the Northumberland International Dark Sky Park. The [‘Good Practice Guide for Outside Lighting in Northumberland International Dark Sky Park’](#) and an additional guide to unacceptable / acceptable lighting is attached. It is recommended that any external lighting required in connection with the domestic extension is undertaken in accordance with the Guidance.

Background Papers

Application File 21NP0037
EIA Screening Report

	Signature	Date
Planning Officer	Adam Ewart	21.06.2021
Head of Planning and Policy	<i>Susannah Buylła</i>	24 th June 2021